



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 17, 2025

ORDERED:

**IN CITY COUNCIL
NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

Special Permit Application of:
TAJ Estates of Marlborough, LLC
95 East Main Street, Suite 100
Westborough, MA 01581
Order No. 25-1009554C

Locus:
163-175 Main Street
Marlborough, MA 01752
Assessors Map 70 Parcel(s) 76A, 77, 78, 79,
Portions of 33A, 34, 77A and city stair land

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to Taj Estates of Marlborough, LLC, with a principal office located at 95 East Main Street, Suite 100, Westborough, MA 01581, as provided in the DECISION and subject to the Findings of Fact and Conditions therein.

Decision date: November 17, 2025.

The Decision of the City Council was filed in the Office of the City Clerk of Marlborough on the 18th day of November 2025.

This is to certify that twenty (20) days have passed since the filing of the within decision and no appeal has been filed with this office.

Given at Marlborough this 9th day of December 2025.

Given under Chapter 40A Section 17 of the General Laws.

A TRUE COPY

ATTEST:


City Clerk



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 17, 2025
PAGE 1

ORDERED:

**IN CITY COUNCIL
NOTICE OF DECISION
DECISION ON A SPECIAL PERMIT
ORDER NO. 25-1009554C**

Application of:
Taj Estates of Marlborough, LLC
Order No. 25-1009554C

Locus: 163-175 Main Street
Map 70, Parcels 76A, 77, 78, 79,
Portions of 33A, 34, 77A, and city stair land

**DECISION ON AN AMENDMENT TO A SPECIAL PERMIT
ORDER NO. 25-1009554C
(X 18/19-1007135, 19-1007571)**

The City Council of the City of Marlborough hereby **GRANTS** the Application to Amend a Special Permit to Taj Estates of Marlborough, LLC (the "Applicant") to authorize modifications to a mixed-use project at 163-175 Main Street, Marlborough, Massachusetts, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant is a duly organized and existing limited liability company having a mailing address of 95 East Main Street, Suite 100, Westborough, MA 01581.
2. The Applicant is the prospective buyer of the property located at 163-175 Main Street, Marlborough, Massachusetts, as shown on Marlborough Assessors Map 70, Parcels 76A, 77, 78, 79, portions of Parcels 33A, 34, 77A, and portions of the adjacent city stair land, with a total area of 23,242 square feet (the "Site").
3. The Site's owner is Vincenza Sambataro with a mailing address of 22 Indian Rock Road, Wayland, MA 01778.
4. The Site is located primarily in the Marlborough Village Zoning District, with a 98 square foot portion located in the Business District.
5. On October 7, 2019, the City Council of the City of Marlborough voted to grant a special permit authorizing the Applicant to build and operate a mixed-use development at the Site (the "Use") in accordance with Article VI, Section 650-17, Section 650-34, and Section 650-41 of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), recorded at the Middlesex South District Registry of Deeds in Book 70281, Page 571 and registered on Certificate # 266543 (the "Original Special Permit").



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ORDERED:

6. Due to two statutes, Chapter 53 of the Acts of 2020 and Chapter 238 of the Acts of 2024, extending the effective dates of various land use approvals, the Original Special Permit will lapse on January 12, 2026.
7. The Original Special Permit was approved in accordance with the provisions of the Zoning Ordinance in effect as of the date of application for the Original Special Permit in 2019 (the "2019 Ordinance"). A 2023 amendment to the Zoning Ordinance with respect to the Marlborough Village District, City Council Order No. 23-1008721, does not apply to the Use, in accordance with M.G.L. c. 40A, Sections 5 and 6, and the express terms of said Order.
8. The Original Special Permit authorized certain relief from the 2019 Ordinance as follows:
 - a. A seventh (7th) story and a total building height of 81 feet, including within 50 feet of a residential zone, authorized by special permit in accordance with Section 650-34.F(1) and Section 650-41, Attachment 2, Note 12;
 - b. Total lot coverage of 94%, authorized by special permit in accordance with Section 650-41, Attachment 2, Note 13;
 - c. A rear setback of 0 feet, authorized by special permit in accordance with Section 650-41, Attachment 2, Note 15;
 - d. A Mixed-Use Development over a 98 square foot portion of the project site zoned Business, authorized by special permit in accordance with Section 650-17, Attachment 1; and
 - e. Authorization for the issuance of more than 100 residential units in the Village District in a single calendar year, authorized by special permit in accordance with Section 650-34. G(1).
9. On September 18, 2025, the Applicant, by and through its counsel, filed with the City Clerk of the City of Marlborough an application to amend the Original Special Permit to modify the Use, under the provisions of Massachusetts General Laws Chapter 40A, Section 9, and the Zoning Ordinance (the "Application").
10. In connection with the Application, the Applicant submitted a certified list of abutters and filing fees.
11. In connection with the Application, the Applicant submitted a site plan entitled "163-175 Main Street Marlborough, MA Plan Set" by MP Design Consultants, stamped by Carlos Ferreira, P.E., last revised November 6, 2025, and set of architectural drawings entitled "163 Main Street: Design Development" by MP Design Consultants, last revised November 6, 2025 (together, the "New Plans"), attached as **"ATTACHMENT A"**.



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Marlborough, Mass., NOVEMBER 17, 2025

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ORDERED:

12. The Use, modified as shown on the New Plans, would consist of a mixed-use development at the Site with 67 residential units, 59 on-site parking spaces, and street level commercial space, in a 7-story building with a height of 75 feet, and not including a roof deck, as shown on the New Plans.
13. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
14. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
15. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, October 20, 2025. The public hearing was held at the Marlborough City Hall, 140 Main Street. The hearing was closed on October 20, 2025.
16. The Applicant, through its representatives, presented testimony at the public hearing detailing the Application, describing its impact upon municipal services, the neighborhood, and traffic.
17. At the public hearing, four members of the public spoke in favor of the Application, one member of the public submitted a letter in favor of the Application, and two members of the public spoke in opposition to the Application.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the proposed Use at the Site, modified as shown on the New Plans, is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided in this Decision and in the Original Special Permit. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth in this Decision and in the Original Special Permit, as further specified below.
- C. The City Council finds that public safety will not be impacted by a reduction of the rear setback to zero feet and the reduction will yield a better design for the project.



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 17, 2025

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ORDERED:

- D. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant an amendment to the Original Special Permit in order to modify the Use at the Site as shown on the New Plans, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built in accordance with this Decision and the New Plans as may be amended during Site Plan Review.
 2. Compliance with Applicable Laws. The Applicant agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.
 3. Site Plan Review. The issuance of this Decision is further subject to detailed Site Plan Review by the City Council prior to the issuance of a building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to this Decision and the building permit, and no final occupancy permit shall be issued until the Applicant has complied with all conditions, provided, however, that subsequent to the issuance of this Decision and Site Plan Approval, the City's Site Plan Review Committee may authorize the phasing of site and building work depending upon weather conditions and other factors. Site Plan Review shall be consistent with the conditions of this Decision and the materials submitted, reviewed, and approved by the City Council as the Special Permit Granting Authority.
 4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs, and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council. The final architectural design of the Site shall be reasonably consistent with the New Plans submitted by the Applicant. The final exterior features of the Site, including landscaping, shall be maintained in good condition and shall be reasonably consistent with the New Plans submitted and representations made to the City Council.
 5. Monument Donation. The Applicant agrees that prior to the issuance of a certificate of occupancy for the Use, the Applicant shall donate materials and engraving for a Gold Star Family Memorial monument to be located in the plaza behind Marlborough City Hall, with plans and specifications for said monument to be provided by the Marlborough Veterans Council and the City Engineer, and with installation of the monument to be the responsibility of the City.



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Marlborough, Mass., NOVEMBER 17, 2025
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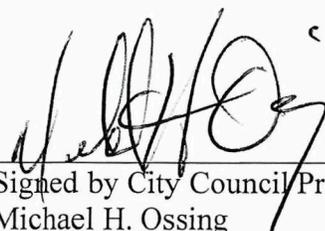
ORDERED:

6. Relief Granted in Original Special Permit. Except as modified as set forth in the New Plans, the Use shall continue to benefit from the relief granted pursuant to the Original Special Permit. This Decision amends the Plans referenced and shown in Attachment A to the Original Special Permit to be the New Plans attached to this Decision as **"ATTACHMENT A"**.
7. Conditions in Original Special Permit. Conditions #1 through #4 of the Original Special Permit are amended to read as set forth above in Conditions #1 through #4 of this Decision, respectively. Conditions #5, #6 and #7B of the Original Special Permit shall continue in full force and effect, except for references in Condition #6 to a "roof deck" which is not applicable to the New Plans as there is no roof deck. Condition #7 and #7A of the Original Special Permit shall not apply to the New Plans as there is no roof deck.
8. Recording of Decision. In accordance with the provisions of Massachusetts General Laws Chapter 40A, Section 11, the Applicant at its expense shall record this Decision in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Decision has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Decision to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: 8 – Nay: 2

Yea: Vital, Doucette, Brown, Irish, Fuccillo, Navin, Ossing & Robey.

Nay: Preciado & Oram.


Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
25-1009554C

ORDER NO. 25-1009554C

ATTACHMENT

A

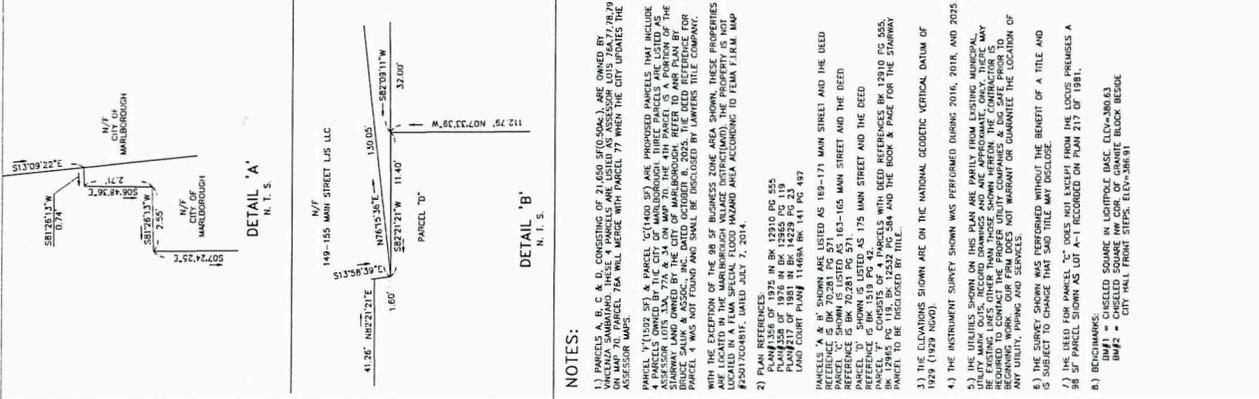
APPLICANT:
 TALLENTS OF MARLBOROUGH, LLC
 93 E MAIN STREET SUITE 100
 MARLBOROUGH, MA 01581

DATE: JANUARY 15, 2018

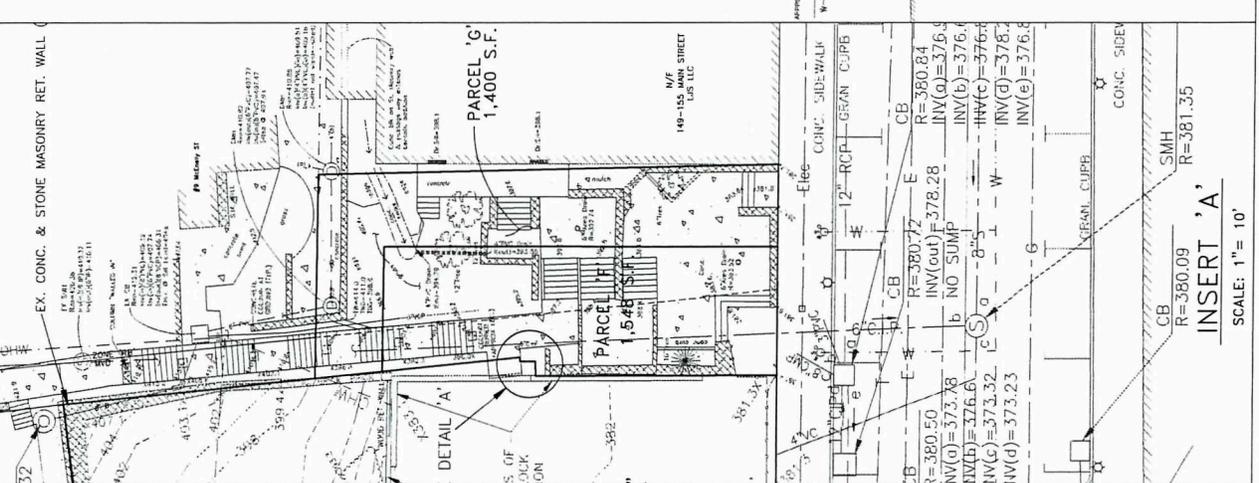
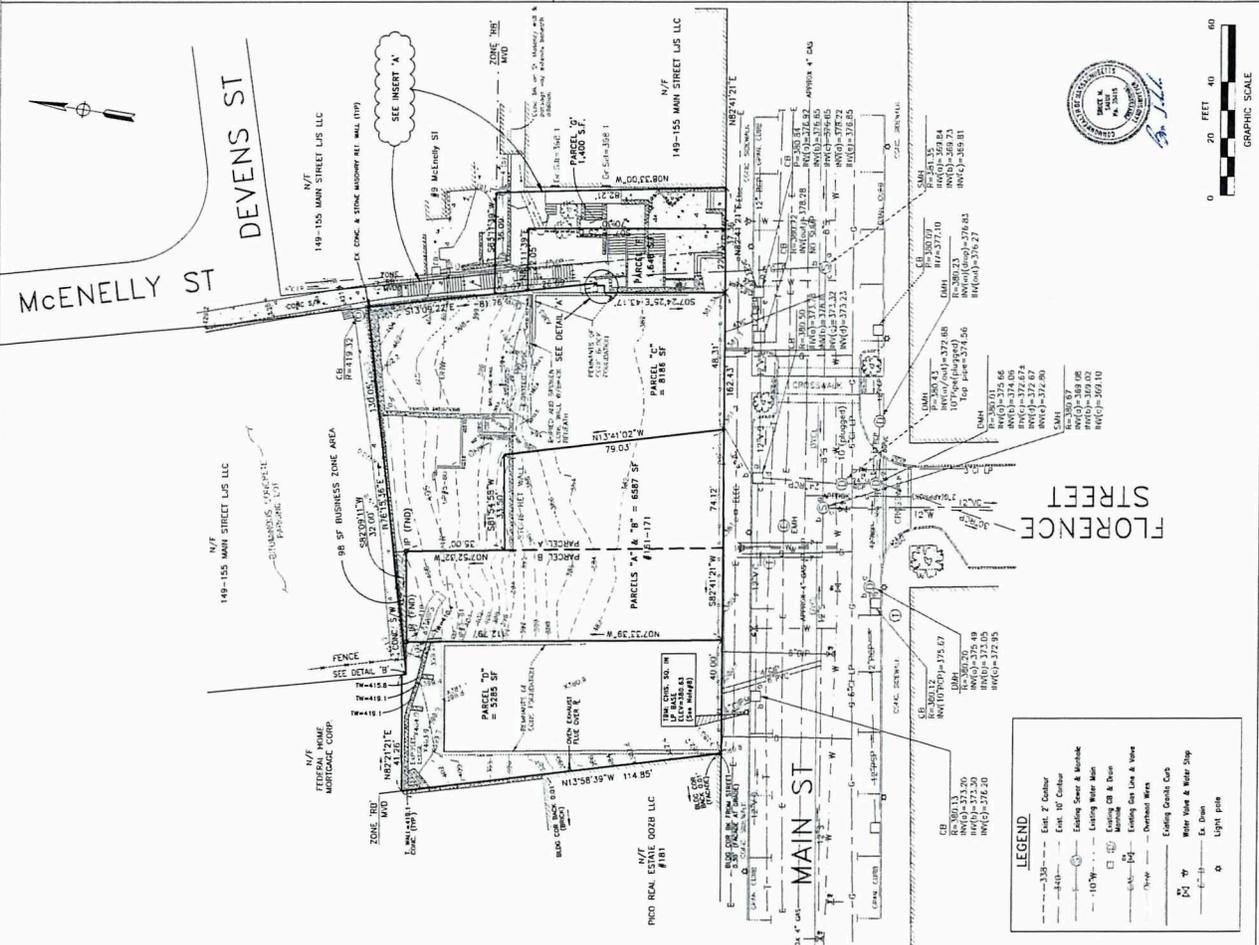
EXISTING CONDITIONS PLAN
 - 163-175 MAIN STREET -
 MARLBOROUGH, MA

PREPARED BY:
 BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508-481-1852
 FAX: 508-481-9928

NO.	DATE	DESCRIPTION
1	1/15/18	ISSUE FOR PERMIT
2	1/15/18	ISSUE FOR PERMIT
3	1/15/18	ISSUE FOR PERMIT
4	1/15/18	ISSUE FOR PERMIT



NOTES:
 1) PARCELS A, B, C & D, CONSISTING OF 21,650 SF (0.50AC), ARE OWNED BY VINCENZO SAMBARINO. THESE 4 PARCELS ARE LISTED AS ASSessor LOTS 76, 77, 78, 79 PARCELS A, B, C & D WILL BE MERGED INTO PARCEL 79 WHEN THE CITY UPDATES THE ASSessor MAPS.
 2) PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

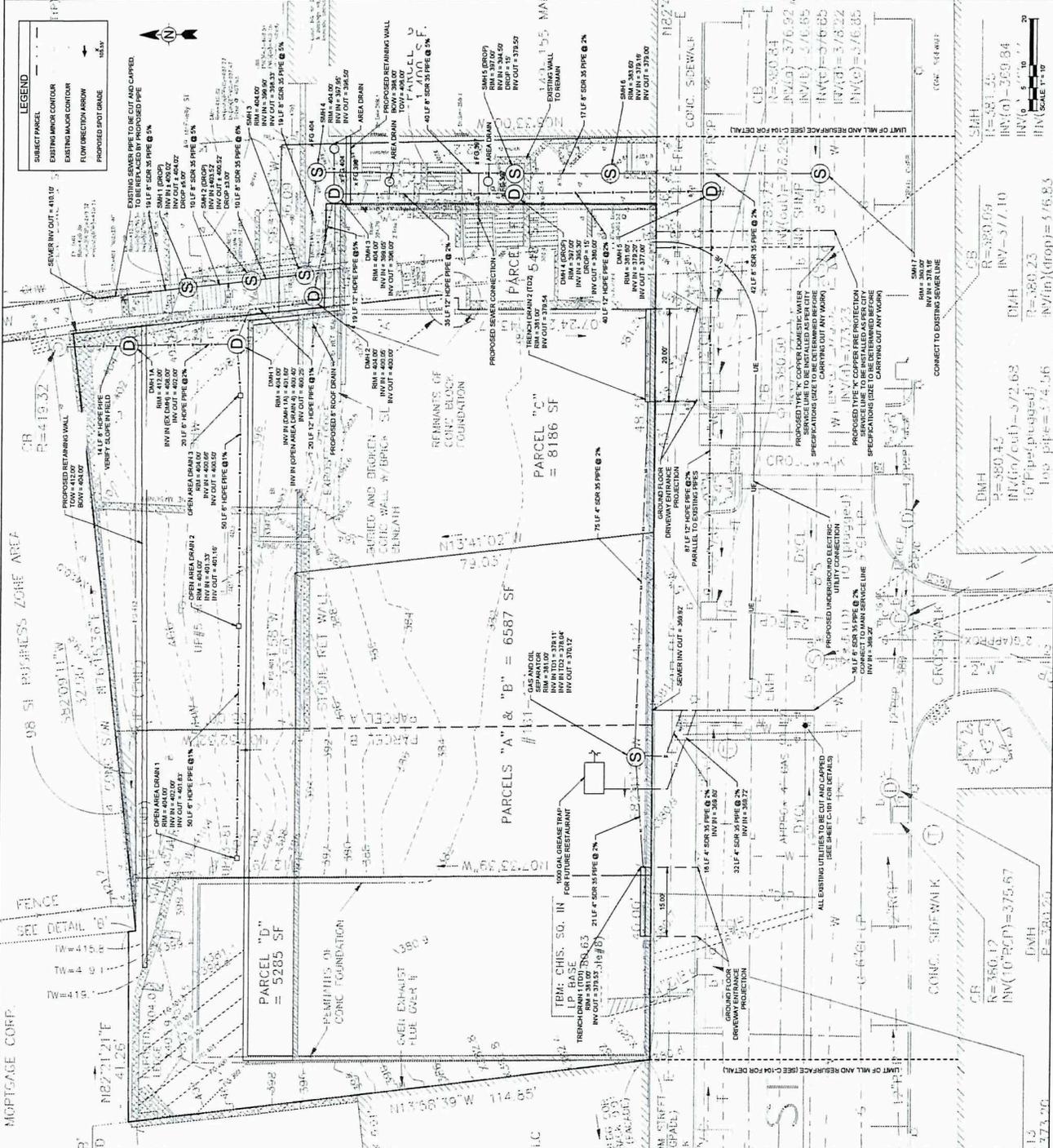




NO.	DATE	REVISIONS
1	11/07/2025	ISSUE FOR PERMIT
2	11/07/2025	ISSUE FOR PERMIT
3	11/07/2025	ISSUE FOR PERMIT
4	11/07/2025	ISSUE FOR PERMIT
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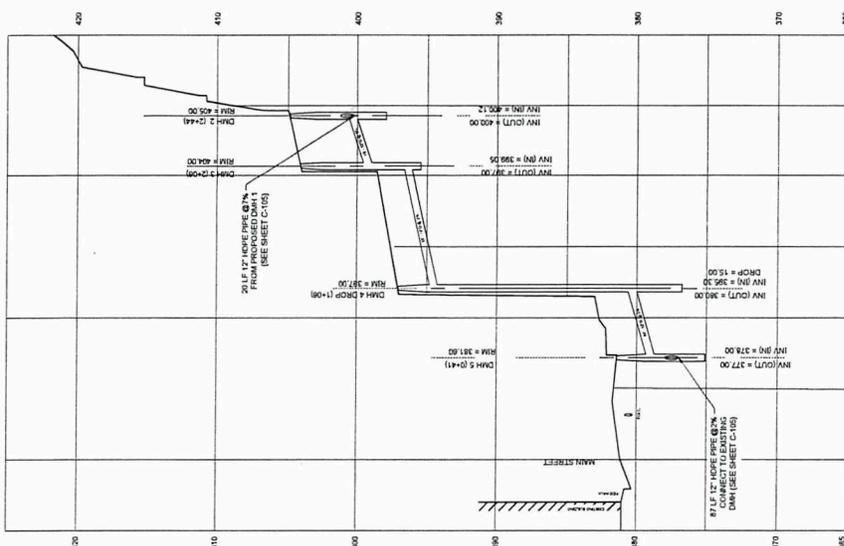


- WATER, SEWER & DRAINAGE NOTES:**
1. MATERIALS AND CONSTRUCTION AND ASSOCIATED WORK SHALL CONFORM TO MASS DPW STANDARD SPECIFICATIONS REFER TO THE DOCUMENT ENTITLED STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1985 AS AMENDED.
 2. ALL UTILITY LOCATIONS SHALL BE IDENTIFIED BY SURVEY OR RECORD DRAWINGS.
 3. ALL UTILITY LOCATIONS SHALL BE IDENTIFIED BY SURVEY OR RECORD DRAWINGS.
 4. PROVIDE PIPE JOINTS AT MANHOLE JOINTS FROM MANHOLE WALLS.
 5. REPAIRS FOR ALL PRECAST ITEMS SHALL CONFORM TO ITEM PRECAST SECTION A AND SHALL INCLUDE REPAIRING IN WELL SPOT OF REBAR SECTIONS, REINFORCED CONCRETE SHALL BE REPAIRED IN ACCORDANCE WITH MOST DISSEMINATED PRACTICES.
 6. IN THE EVENT ANY ROCKS ARE ENCOUNTERED, THE CONTRACTOR SHALL MAINTAIN A 12-INCH CLEARANCE FROM THE ROCKS TO THE BOTTOM OF THE TRENCH.
 7. SURFACE MATERIAL SHALL BE AS SHOWN ON THE DRAWINGS.
 8. PROTECT ALL EXISTING UTILITIES, VEGETATION, TREES, ROCKS AND STONES.
 9. COMPACTION OF BACKFILL MATERIAL BETWEEN CENTERLINE OF PIPE AND TRENCH SHALL BE AS SHOWN ON THE DRAWINGS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCESSIVE TRENCH SETTLEMENT FOLLOWING FINAL PAVING.
 11. UTILITIES SHOWN ON THIS PLAN ARE PARTLY FROM EXISTING AVAILABLE CITY AND UTILITY DATA AND PARTLY FROM FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF MARLBOROUGH AND THE STATE OF MASSACHUSETTS.
 12. THE ELEVATIONS SHOWN ARE BASED ON MEAN SEA LEVEL DATUM (1929 MVD).
 13. REFER TO ADDITIONAL WATER, SEWER & DRAINAGE NOTES ON THE FINAL SHEETS.
 14. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 15. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
 16. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO REQUIRED INSPECTIONS.
 17. MAKE SURE SEWER AND WATER SEPARATION IS MAINTAINED THROUGHOUT THE CONSTRUCTION AND PROVIDE A MINIMUM SEPARATION BETWEEN THE PIPE OUTSIDE DIAMETERS. PROVIDE A FULL LENGTH OF SEWER PIPE CENTERED AT THE CROSSING. THE FULL LENGTH OF THE SEWER SHALL BE AS SHOWN ON THE DRAWINGS. THE SEWER SHALL BE CLASSIFIED AS A 30" OR 24" PIPE USING PRESSURE RATED ADAPTERS BY TRENCH OR APPROVED EQUAL.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF MARLBOROUGH AND THE STATE OF MASSACHUSETTS.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF MARLBOROUGH AND THE STATE OF MASSACHUSETTS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF MARLBOROUGH AND THE STATE OF MASSACHUSETTS.
 21. THE CONTRACTOR SHALL OBTAIN A TRENCHING PERMIT PRIOR TO ANY TRENCHING ON PUBLIC OR PRIVATE PROPERTY.
 22. THE PROPOSED 4" DOMESTIC WATER SERVICE SHOWN IS FOR THE ENTIRE BUILDING COMMERCIAL & RESIDENTIAL. THE EXISTING 8" DP PIPE LINE SHALL ALSO SERVICE THE BUILDING COMMERCIAL & RESIDENTIAL. THE CONTRACTOR SHALL ALSO SERVICE THE WATER AND THE SERVICES WILL PROVIDE THE REQUIRED FLOW. ANY EXISTING WATER SERVICE SHALL BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF MARLBOROUGH AND THE STATE OF MASSACHUSETTS.
 23. LINE ELEMENTS IF REQUIRED FOR THE LIGHT SERVICES FROM THE EXISTING U.P. TO THE PROPOSED BUILDING SHALL BE PROVIDED BY THE FACILITY OWNER.
 24. THE CONTRACTOR SHALL PROVIDE BUILDING FOUNDATION AND SITE DRAINAGE & DRAINAGE IN ACCORDANCE TO DESIGN BY THE GEOTECHNICAL ENGINEER OR OTHERS.
 25. THE CONTRACTOR SHALL LOCATE AND TIE IN ALL EXISTING SERVICES AND PROVIDE ALL EXISTING SERVICES WATER, GAS, TELEPHONE & ELECTRIC AS REQUIRED. ALL EXISTING SERVICES WATER AND GAS SERVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION STAGE.
 26. DRAIN & SEWER PIPE ALONG THE STAIRWAY SHALL BE CLASS 52 (C) DP WHERE THE PIPE SLOPE EXCEEDS 10%.
 27. PROVIDE A 20' SIDEWALK TRENCH DRAIN (MAX) AT THE FITTING DISCHARGE CONNECTION TO THE TRENCH DP DRAIN USE DRAIN, OR EQUAL.
 28. ALL EXISTING SERVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION. UNDERGROUND CONNECTIONS FROM MAIN STREET OR AS APPROVED BY THE FACILITY OWNER.
 29. THE EXISTING GAS SERVICE CONNECTIONS SHALL BE EVALUATED AND/OR REPLACED AS APPROVED BY THE GAS FACILITY COMPANY.
 30. THE CONTRACTOR SHALL PROVIDE A 20' SIDEWALK TRENCH DRAIN (MAX) AT THE FITTING DISCHARGE CONNECTION TO THE TRENCH DP DRAIN USE DRAIN, OR EQUAL.
 31. THE CONTRACTOR SHALL PROVIDE A 20' SIDEWALK TRENCH DRAIN (MAX) AT THE FITTING DISCHARGE CONNECTION TO THE TRENCH DP DRAIN USE DRAIN, OR EQUAL.
 32. FOR SEWER, DRAINAGE WATER, GREASE TRAP, FLOOR DRAIN TRAP, ETC. INSIDE THE BUILDING, REFER TO THE PLUMBING DESIGN BY OTHERS.

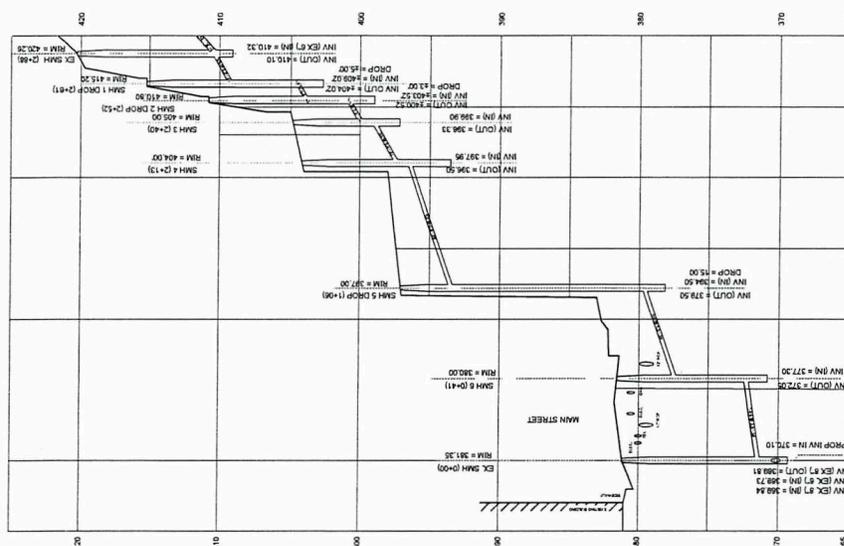


NO.	DATE	DESCRIPTION
1	03/04/2027	ISSUED FOR DRAINAGE BOARD COMMENTS

DRAWN BY	EP
CHECKED BY	CF
DATE	03/04/2027
SCALE	1" = 1'-0"



- DRAINAGE NOTES**
1. ALL EXISTING PIPE SIZES, STATIONS AND FINISHED GRADE ARE ALONG PROPOSED SEWER ALIGNMENT ONLY.
 2. PIPE SHALL BE CLASS 52 DDP (CL).



- SEWER NOTES**
1. THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CONFERENCE THE CONTRACTOR SHALL SUBMIT A SEWER SIZING REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONSTRUCTION SHALL NOT START UNTIL THE PLAN HAS BEEN APPROVED BY THE CITY ENGINEER.
 2. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF EXISTING HOUSE CONNECTIONS TO THE EXISTING SEWER.
 3. PIPE SHALL BE CLASS 52 DDP (CL).



18 WILSON ROAD, SUITE 209
MARTINSBURG, WV 26151
CONTACT: (304) 291-1100
WWW.MPDDESIGN.COM

OWNER
**T&J ESTATES OF
MARLBOROUGH
STREET**
163-175 MAIN
MARTINSBURG, WV 26151

PROJECT
**163-175 MAIN
STREET**
MARTINSBURG, WV 26151



DATE: 11/07/17
DESCRIPTION: LANDSCAPE PLAN
DRAWN BY: EP
CHECKED BY: CF
DATE: 11/08/2017
SCALE: 1/8" = 1'-0"

SHEET TITLE
**PLANTING
PLAN**

SHEET
C-107

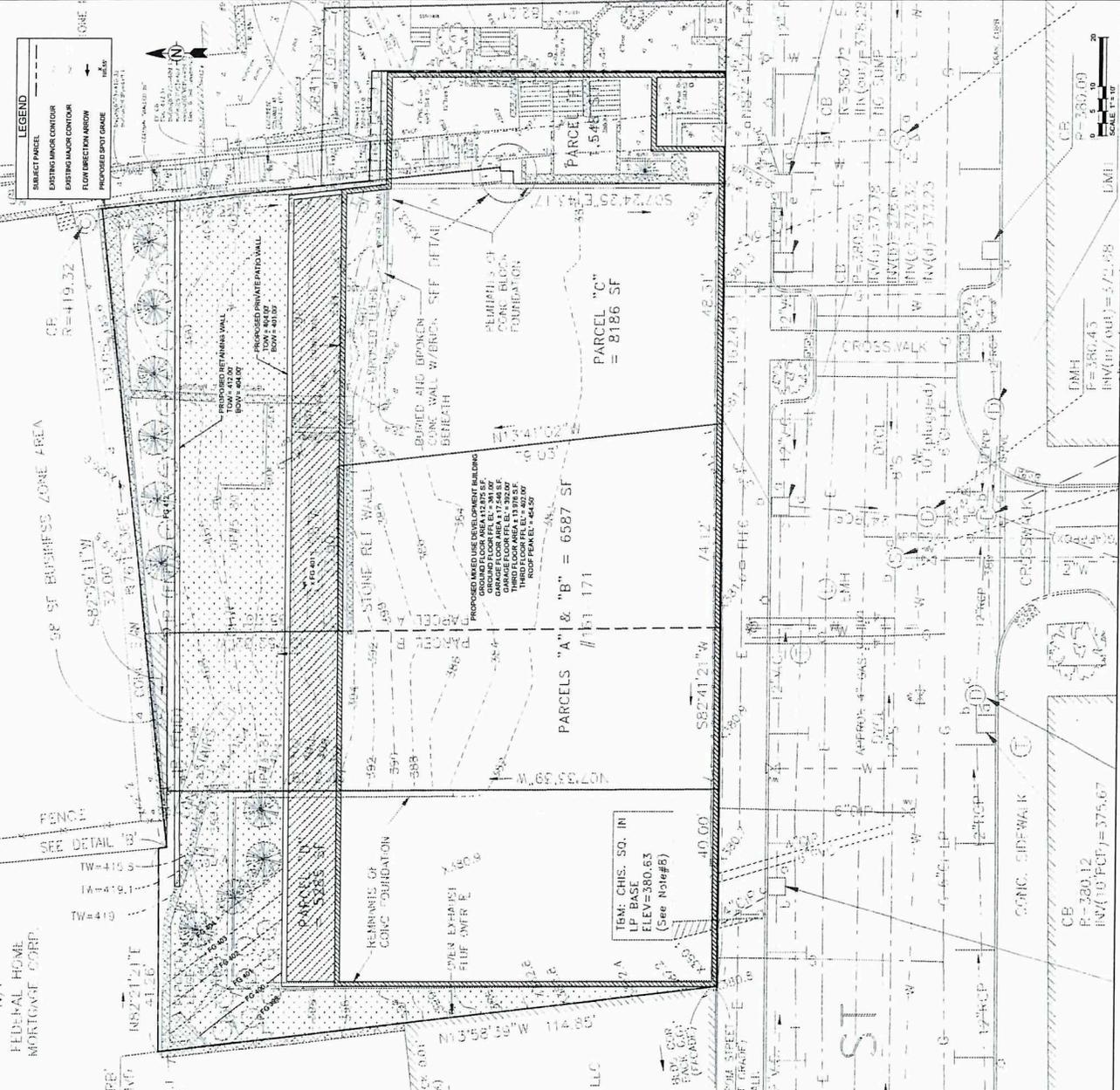
GENERAL NOTES

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY [NAME] ON [DATE].
- ALL SURVEY INFORMATION, BACKGROUND INFORMATION FOR DESIGN ENGINEERS IN A GENERAL CONTRACTOR SHALL COORDINATE UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, MATERIAL AND DEPTH OF EXISTING UTILITIES. COORDINATE WITH UTILITY PROVIDER AND NOTIFY ALL AFFECTED PARTIES. CONNECTION SHALL BE MADE TO THE EXISTING MAIN OR LINE IN ACCORDANCE TO THE TOWNSHIP REQUIREMENTS INCLUDING PATCHING WHERE DEEMED NECESSARY.
- OTHER DESIGN CONSTRUCTION ALL DAMAGE STRUCTURES ARE TO BE CLEANED OF SILT, STORES AND OTHER DEBRIS IN THE PROPOSED SURVEY.
- CIVIL ENGINEER DESIGN BASED ON PROVIDED SURVEY BY SURVEYOR. ENGINEER NOT RESPONSIBLE FOR ANY DISCREPANCY IN THE PROVIDED SURVEY.
- ALL PLANTING TO BE INSTALLED AND MAINTAINED AS SHOWN ON THIS PLAN. ALL PLANTING TO BE MAINTAINED AS SHOWN ON THIS PLAN. ALL PLANTING TO BE MAINTAINED AS SHOWN ON THIS PLAN.
- NO PLANTING TO BE INSTALLED IN ANY AREAS WHERE THERE ARE EXISTING UTILITIES OR OTHER STRUCTURES. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE. EXCAVATION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
- LOCATION OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN. SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.

PLANTING NOTES

- FOR LANDS, SEED AREAS, PROVIDE AT LEAST ONE SEED COMPANY WITH ITS RANGE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA.
- PROVIDE PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPATIBLE WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR TREE SPECIFICATIONS".
- PLANTS TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE. EXCAVATION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
- PLANTING ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
- PLANTS AND VARIETIES SHALL BE MAINTAINED AS SHOWN ON THIS PLAN. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE. EXCAVATION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
- PROVIDE LITE MESH TO STABILIZE SOIL UNTIL VEGETATION HAS ESTABLISHED ITSELF ENOUGH TO PREVENT EROSION. WHERE NECESSARY PROVIDE PERMANENT POLYMER LITE MESH.
- TOP SOIL SHALL BE PROVIDED WITHIN THE PROPOSED PLANTING AREAS.

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
TO	23	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	3" CALIPER
AR	4	ACER RUBRUM	ARMSTRONG MAPLE	3" CALIPER
PP	4	PICEA PUNGENS	COLORADO SPRUCE	3" CALIPER
PA	4	PICEA ABIES	NORWAY SPRUCE	3" CALIPER
SHRUBS				
JP	80	JUNIPER HORIZONTALIS	LOW SPREADING JUNIPER (BAR HOBOR)	
VM	4500	VICICA MINOR, OR PACHYSANDRA TERMINALIS	MYRTLE OR PACHYSANDRA	



FEDERAL HOME
MORTGAGE CORP.

REMAINS OF
CONC. FOUNDATION

BURIED AND BROKEN
CONC. WALL W/ BRICK
SILL (RETAI)
BENEATH

PROPOSED MIXED USE
DEVELOPMENT BUILDING

GROUND FLOOR AREA = 112,075 SF
FIRST FLOOR AREA = 117,546 SF
SECOND FLOOR AREA = 117,546 SF
THIRD FLOOR AREA = 117,546 SF
TOTAL FLOOR AREA = 464,713 SF

PARCEL "A" & "B" = 171 SF

PARCEL "C" = 8186 SF

REMAINS OF CONC. FOUNDATION

BURIED AND BROKEN CONC. WALL W/ BRICK SILL (RETAI) BENEATH

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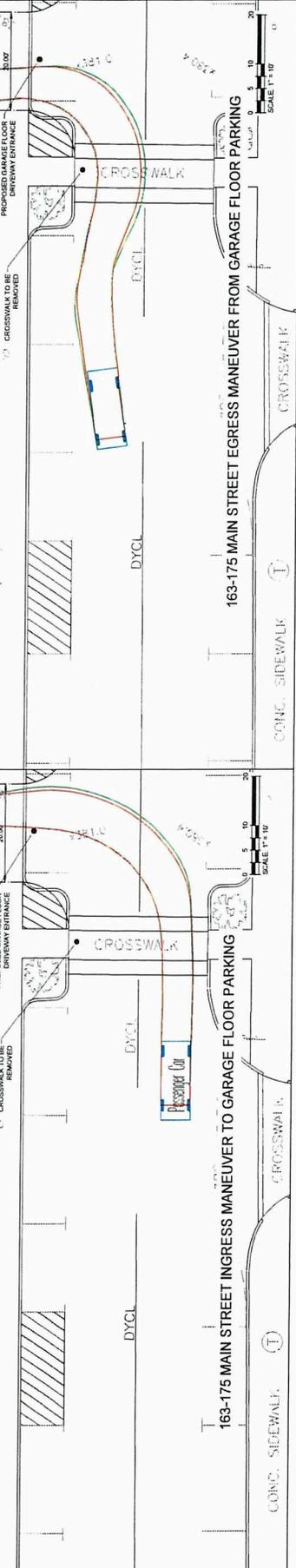
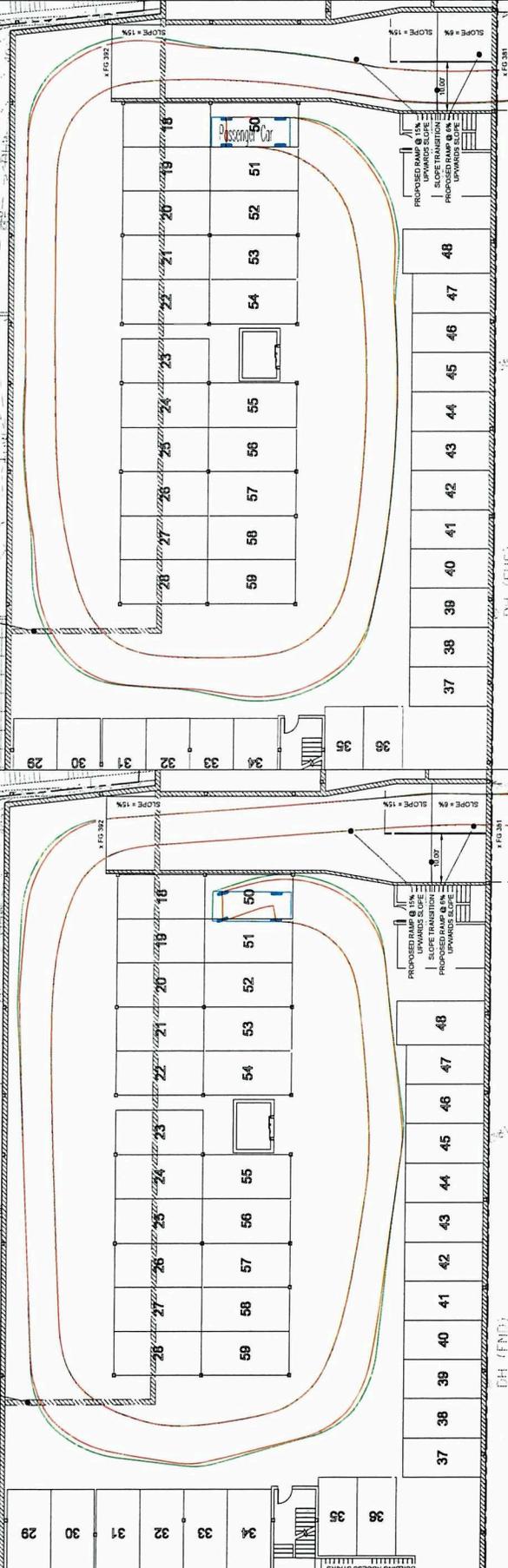
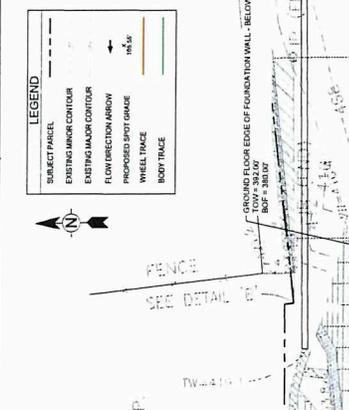
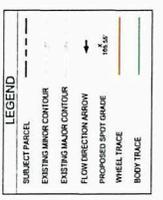


MP DESIGN
CONSULTANTS
147 WILKINSON BLVD. SUITE 100
SOUTH BROOKFIELD, MA 01117
CONTACT: @MPCONSULTANTS.COM

OWNER
**TAJ ESTATES OF
MARLBOROUGH
STREET**
MARLBOROUGH, MA 01501

PROJECT
**163-175 MAIN
STREET**
MARLBOROUGH, MA 01501

- GENERAL NOTES**
1. THE DESIGNER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND HAS CONDUCTED VISUAL SURVEY OF THE SITE. THE DESIGNER HAS NOT CONDUCTED AN ACTUAL FIELD SURVEY CONDUCTED BY A LICENSED SURVEYOR.
 2. ALL SURVEY INFORMATION IS BACKGROUND INFORMATION FOR DESIGN ENGINEER PLANS.
 3. GENERAL CONTRACTOR SHALL VERIFY PROPOSED UTILITIES PRIOR TO CONSTRUCTION TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR. THE DESIGNER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR. THE DESIGNER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR.
 4. AT THE END OF CONSTRUCTION, ALL UNWANTED STRUCTURES ARE TO BE CLEARED OF DEBRIS, STONES AND OTHER DEBRIS.
 5. CIVIL ENGINEER DESIGN BASED ON PROVIDED SURVEY BY SURVEYOR. ENGINEER NOT RESPONSIBLE FOR ANY DISCREPANCIES IN THE PROVIDED SURVEY.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. AS APPLICABLE TO PREVENT EROSION INTO WETLANDS AND RESOURCE AREAS, EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 7. DGS SAFE NOTE IN ACCORDANCE WITH MA, CH. 89, SEC. 27B(1)(b) INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIG SAFE" AT 1-888-686-5454.
 8. COMBINATION OF ACTUAL FIELD LOCATIONS OF UTILITIES AND RECORD DRAWINGS SHALL BE USED TO DETERMINE EXISTING UTILITY LOCATIONS AND ELEVATIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.



DESIGNED BY
CHAD BROWN, P.E.
Date: 2025-11-07 12:13:08-03'00"

NO.	DATE	REVISIONS
1	11/07/25	ISSUE FOR PERMIT

DRAWN BY: EP
CHECKED BY: CF
DATE: 11/07/25
SCALE: 1" = 10'

SHEET TITLE
**GARAGE FLOOR
PARKING
MANEUVERABILITY**



163-175 MAIN STREET EGRESS MANUEVER FROM GARAGE FLOOR PARKING

163-175 MAIN STREET INGRESS MANUEVER TO GARAGE FLOOR PARKING

CONC. SIDEWALK

CROSSWALK

DYCL

CONC. SIDEWALK

CROSSWALK

DYCL

CONC. SIDEWALK

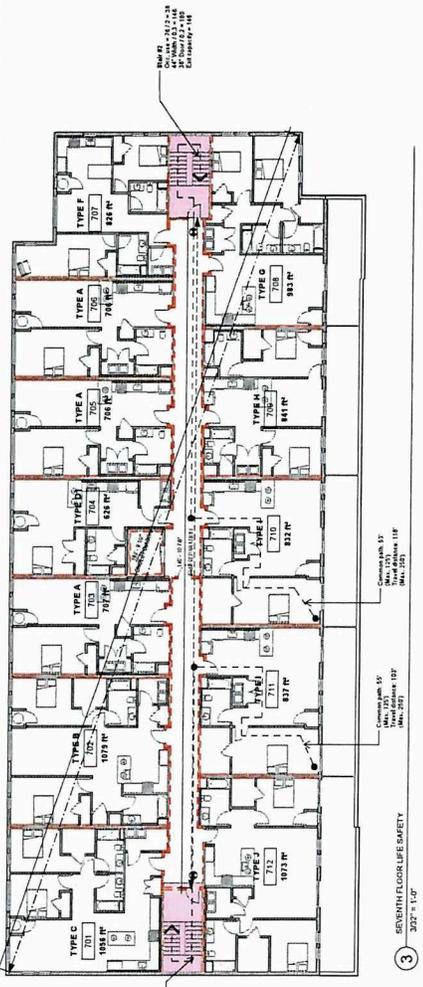
CROSSWALK

DYCL

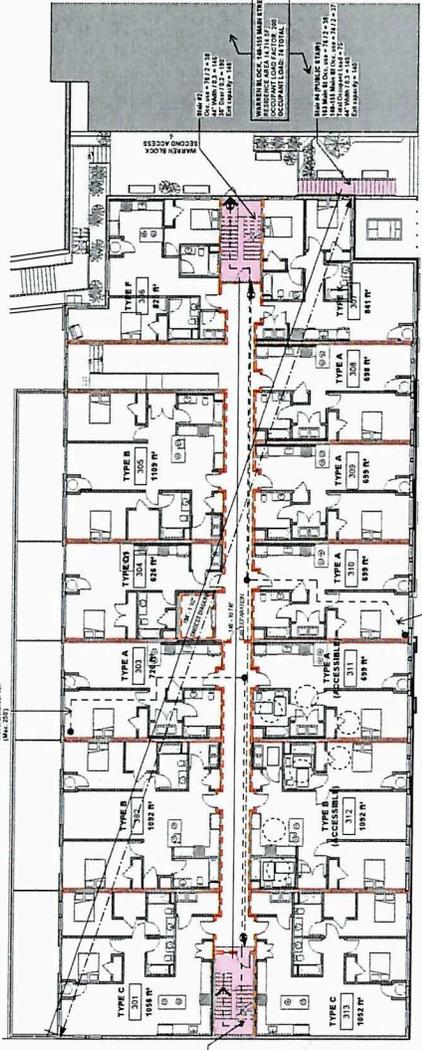
CONC. SIDEWALK

CROSSWALK

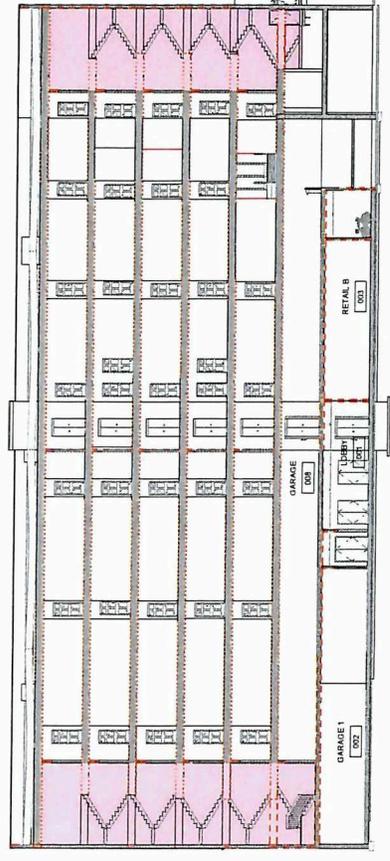
C-109



3 SEVENTH FLOOR LIFE SAFETY
 3037' x 140'



2 8TH FLOOR LIFE SAFETY
 3037' x 140'



1 SECTION 2 FIRE RATING
 3127' x 140'

ROOM NAME	ROOM NUMBER	AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
TRANSFORMER	107	500 SF	500	1
MECHANICAL	108	500 SF	500	1
MECHANICAL	109	500 SF	500	1
MECHANICAL	110	500 SF	500	1
MECHANICAL	111	500 SF	500	1
MECHANICAL	112	500 SF	500	1
MECHANICAL	113	500 SF	500	1
MECHANICAL	114	500 SF	500	1
MECHANICAL	115	500 SF	500	1
MECHANICAL	116	500 SF	500	1
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MECHANICAL	122	500 SF	500	1
MECHANICAL	123	500 SF	500	1
MECHANICAL	124	500 SF	500	1
MECHANICAL	125	500 SF	500	1
MECHANICAL	126	500 SF	500	1
MECHANICAL	127	500 SF	500	1
MECHANICAL	128	500 SF	500	1
MECHANICAL	129	500 SF	500	1
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MECHANICAL	197	500 SF	500	1
MECHANICAL	198	500 SF	500	1
MECHANICAL	199	500 SF	500	1
MECHANICAL	200	500 SF	500	1

LEGEND OF FIRE SEPARATION SYMBOLS

- 1/2" RATED FIRE ASSEMBLY
- 1" RATED FIRE ASSEMBLY
- 3" RATED FIRE ASSEMBLY

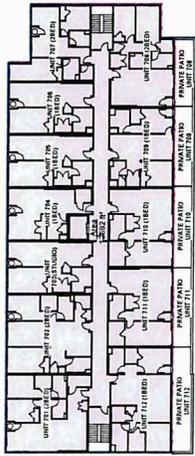
EGRESS PLAN KEY

- LONGEST DIAGONAL
- EXIT SEPARATION
- PATH OF TRAVEL
- EXIT SIGN LOCATION

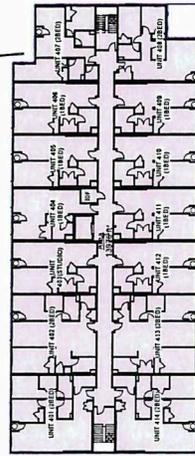
FIRE SEPARATION NOTES

- SEE BUILDING CODE SUMMARY ON SHEET G-013
- SEE FIRE ALARM PLANS
- SEE EGRESS PLAN
- ALL EGRESS THROUGH RATED ASSEMBLIES ARE TO BE PROTECTED WITH PHENOLIC INSULATION
- THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL EGRESS THROUGH RATED ASSEMBLIES TO BE PROTECTED WITH PHENOLIC INSULATION AND TO MAINTAIN THE INTACTNESS OF THE PHENOLIC INSULATION
- ALL EXISTING RATED ASSEMBLIES TO BE PROTECTED WITH PHENOLIC INSULATION SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE BUILDING DEPARTMENT
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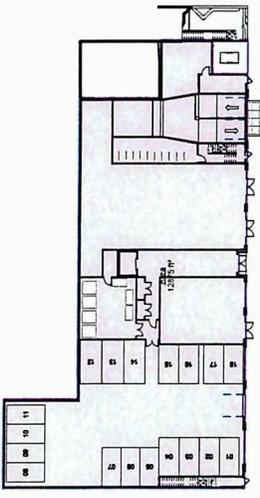
GROSS FLOOR AREA SCHEDULE	
LEVEL	AREA
1. GROUND FLOOR	12825 SF
2. GARAGE	17546 SF
3. THIRD FLOOR	13876 SF
4. FOURTH FLOOR	13876 SF
5. FIFTH FLOOR	13876 SF
6. SIXTH FLOOR	13876 SF
7. SEVENTH FLOOR	13876 SF



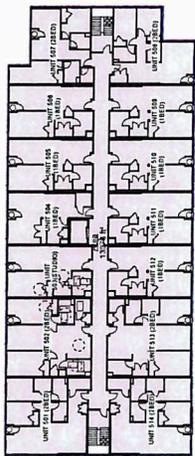
7. SEVENTH FLOOR
1" = 20' 0"



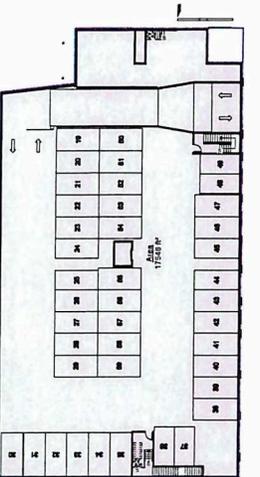
4. FOURTH FLOOR
1" = 20' 0"



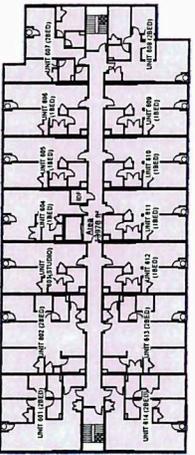
1. GROUND FLOOR
1" = 20' 0"



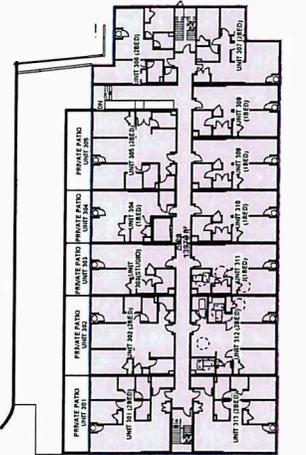
5. FIFTH FLOOR
1" = 20' 0"



2. GARAGE
1" = 20' 0"



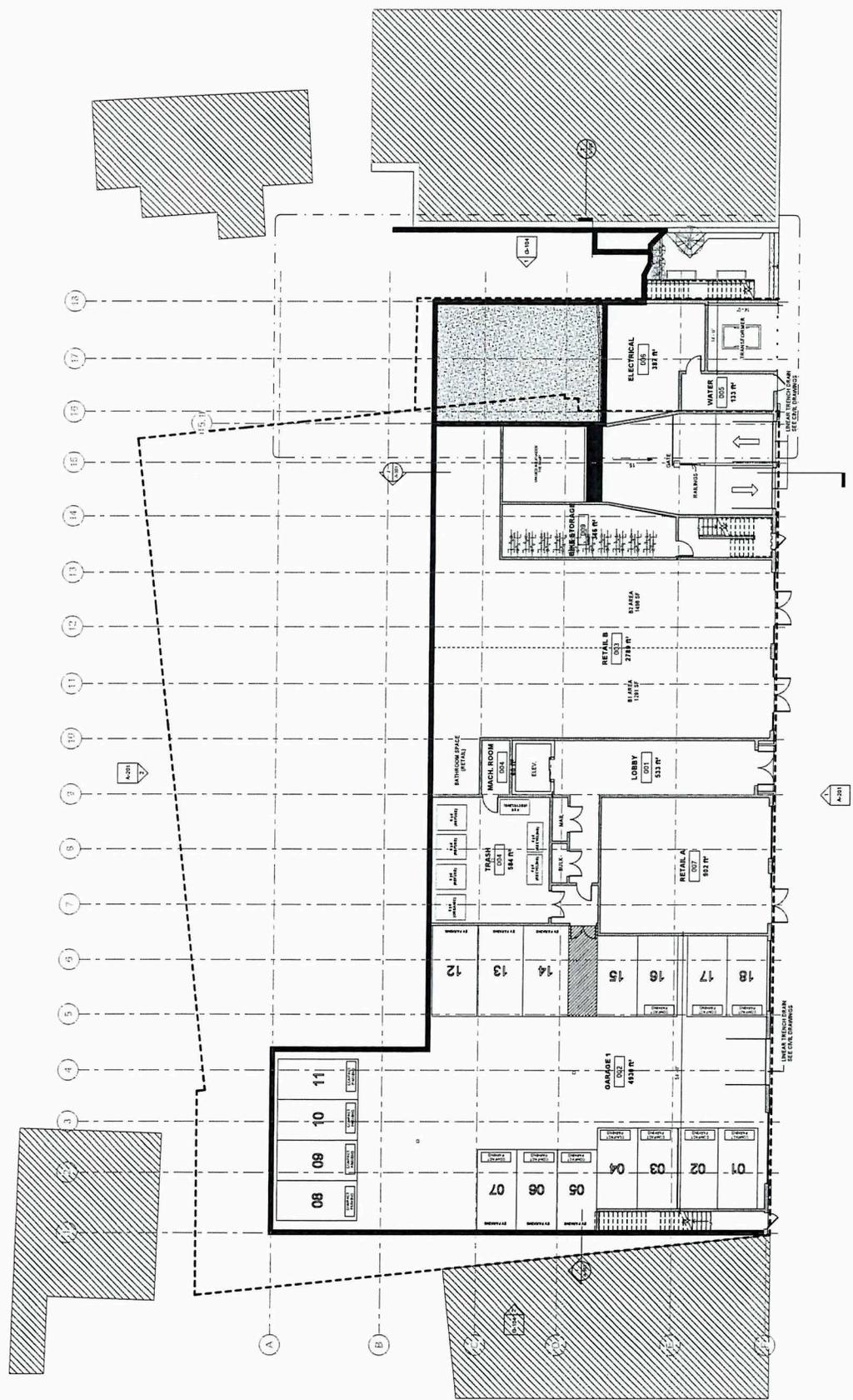
6. SIXTH FLOOR
1" = 20' 0"



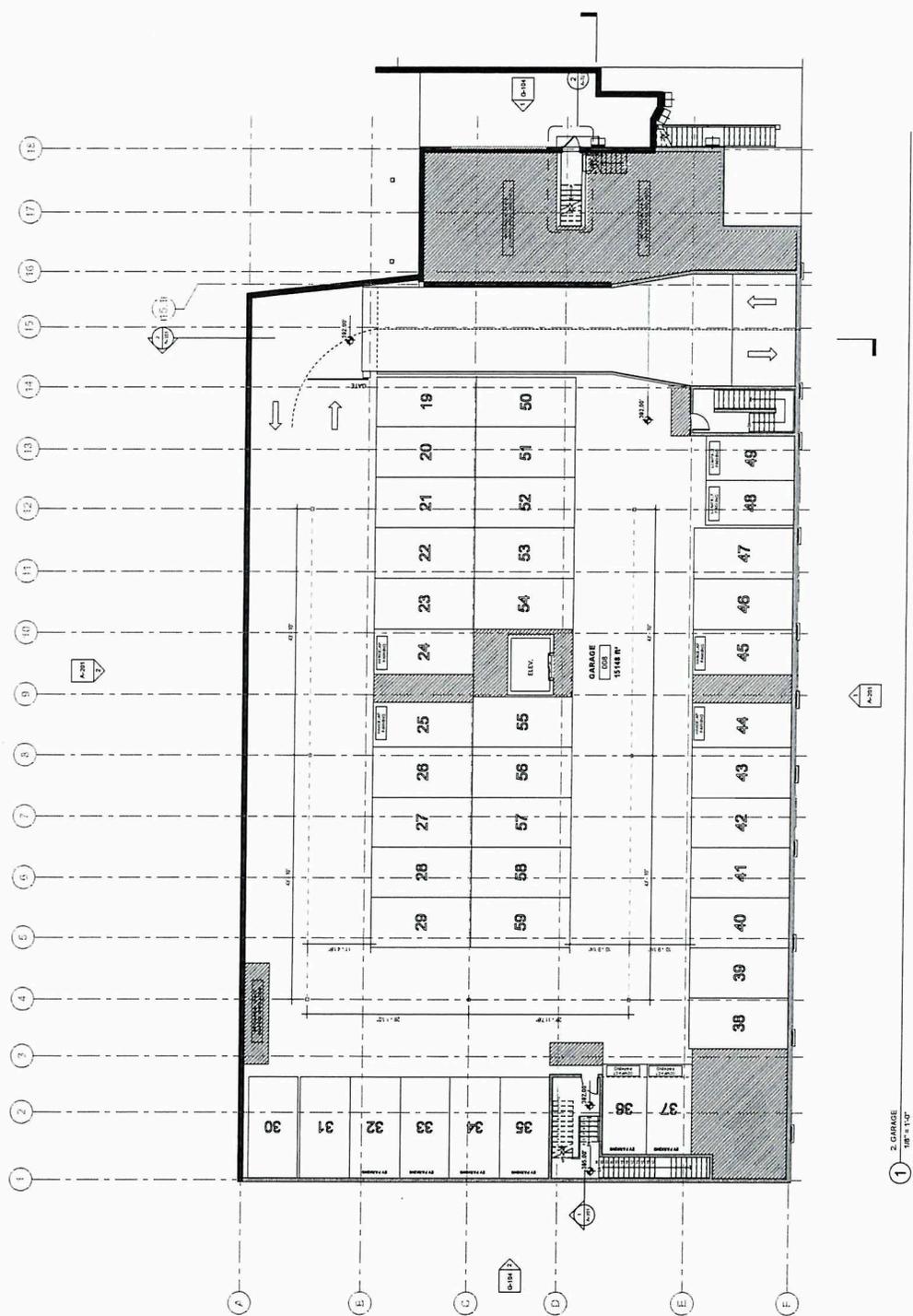
3. THIRD FLOOR
1" = 20' 0"

PROJECT NAME	
PROJECT NO.	
DATE	
SCALE	
PROJECT	

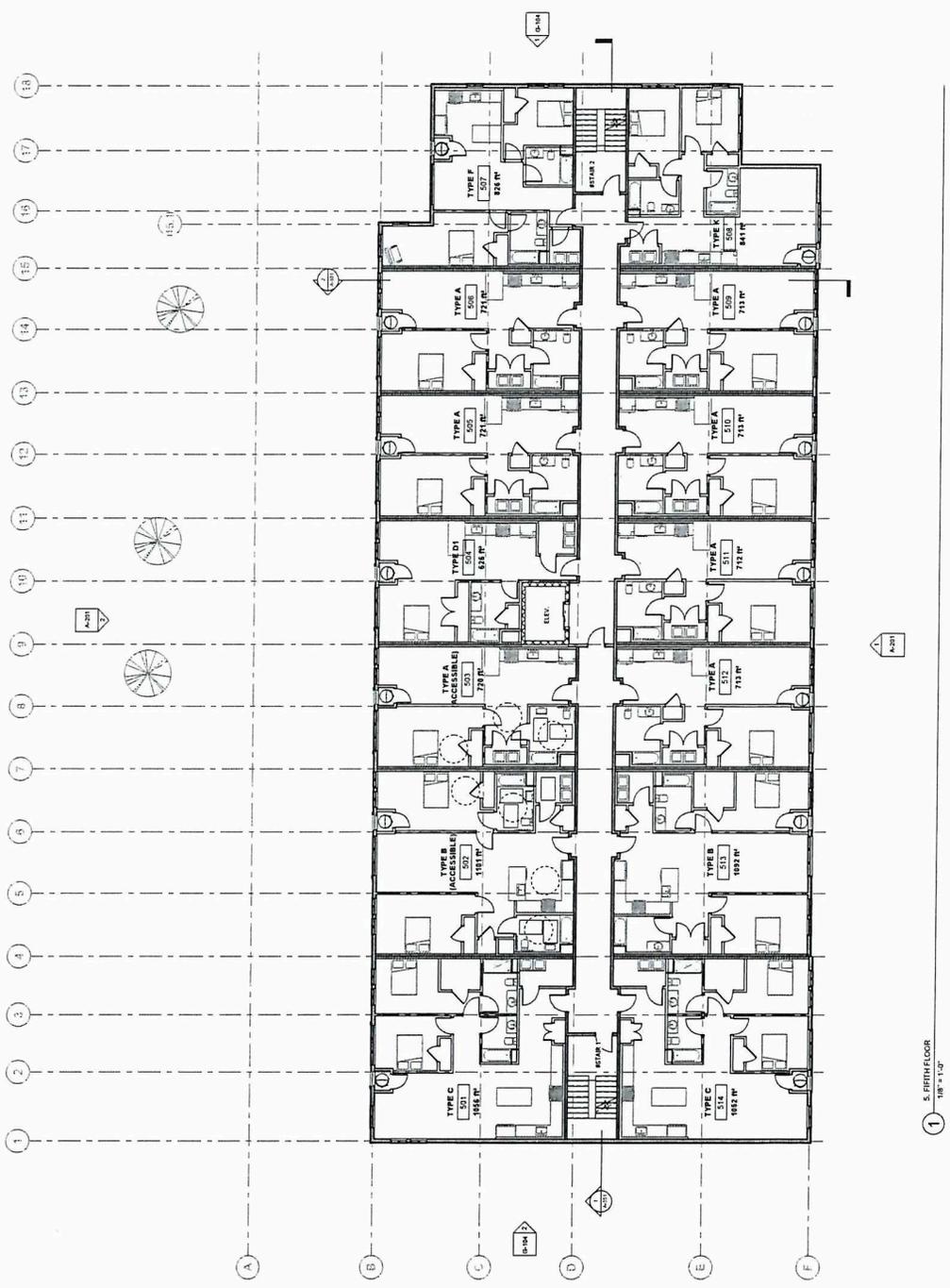
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OWNER	
DESIGNER	
DATE	
SCALE	
PROJECT	



1. GROUND FLOOR
 1/8" = 1'-0"

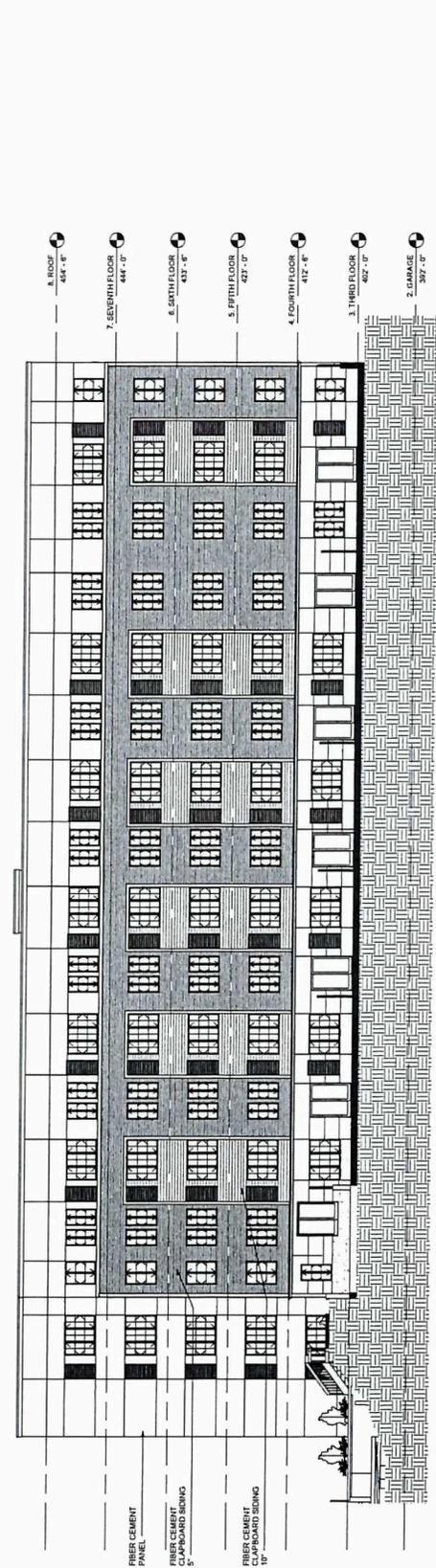
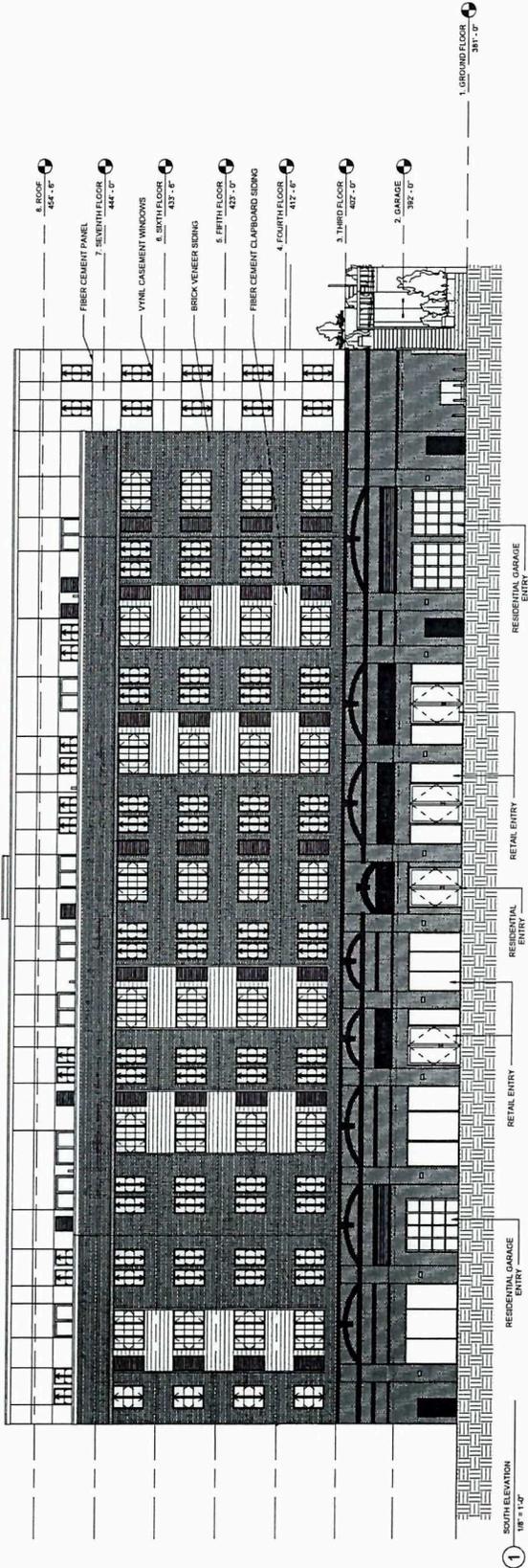


1 GARAGE
 1/8" = 1'-0"



PROJECT NAME	
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<input type="checkbox"/>	ELECTRICAL
<input type="checkbox"/>	PLUMBING
<input type="checkbox"/>	STRUCTURE
<input type="checkbox"/>	LANDSCAPE ARCHITECTURE

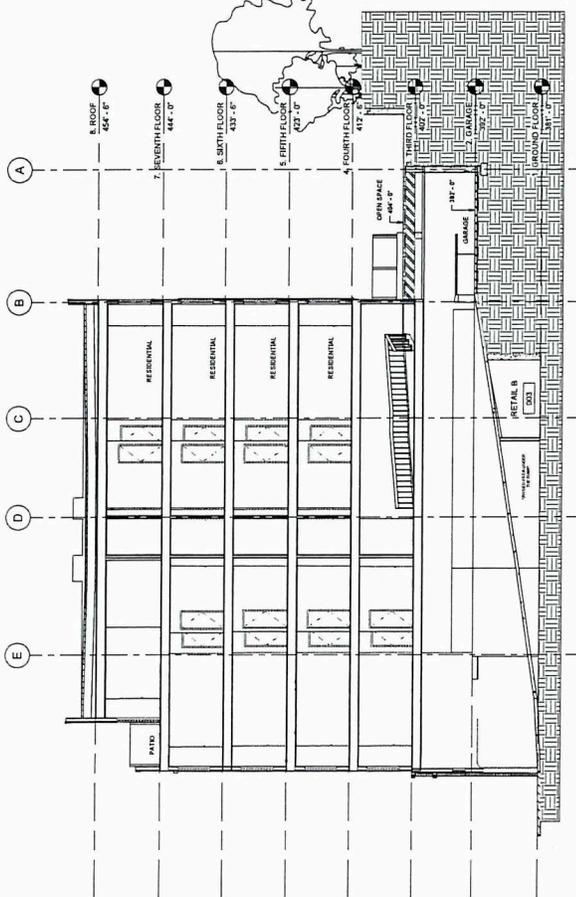
REVISIONS		
NO.	DATE	DESCRIPTION



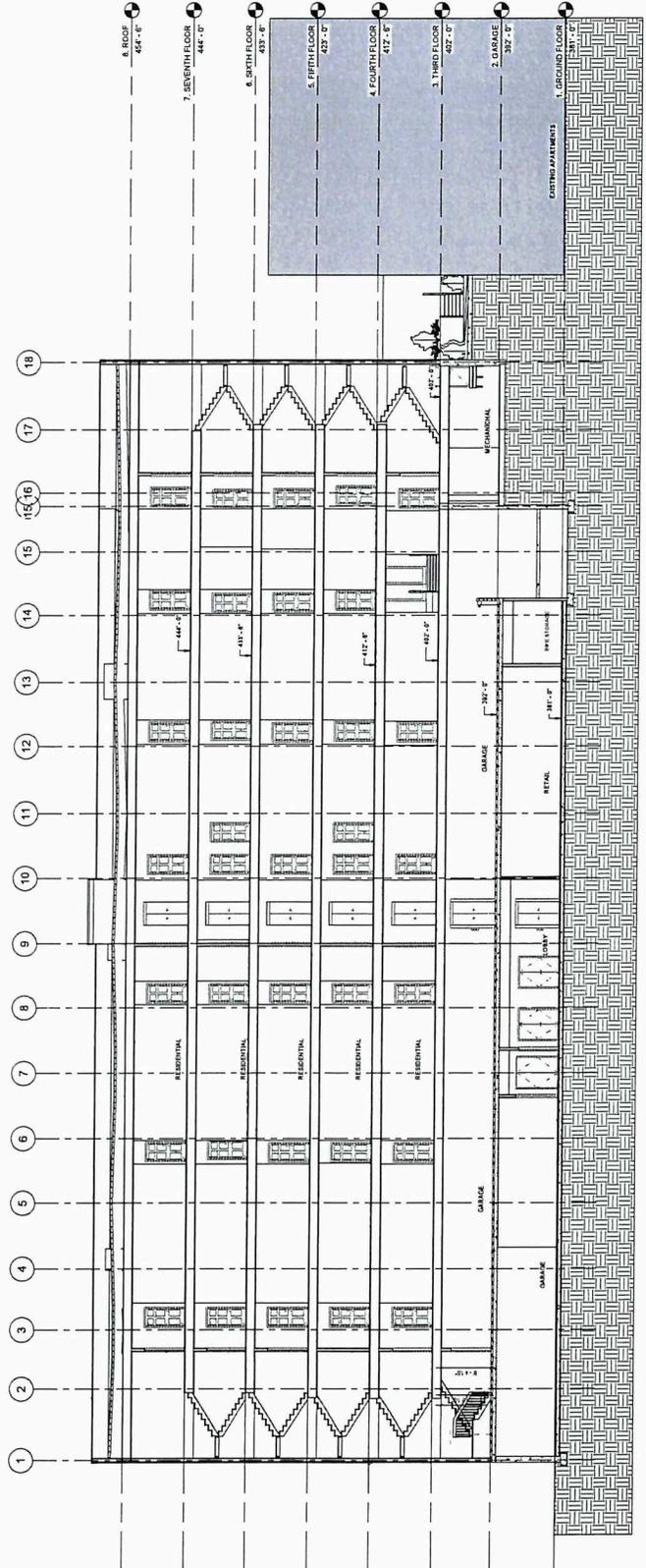
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<input type="checkbox"/>	RENOVATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITIONAL WORK
<input type="checkbox"/>	REPAIRS
<input type="checkbox"/>	DEMOLITION

REVISION	
NO.	DESCRIPTION

SECTIONS AND DETAILS	
NO.	TITLE



SECTION 1
1/8" = 1'-0"



SECTION 2
1/8" = 1'-0"

