

CITY OF MARLBOROUGH MEETING POSTING

Meeting Name: City Council Urban Affairs Committee

Date: November 15, 2016

Time: 6:00 PM

Location: City Council Chamber, 2nd Floor, City Hall, 140 Main Street

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2016 NOV 10 P 2:05

09-26-2016 – **Order No. 16-1006683**: Application to further modify Special Permit from Crabtree Lake Williams LLC for Overlook at Lake Williams, Lakeside Avenue, to accommodate changes to the design and configuration of the emergency access road and perimeter fencing in the vicinity of Bond Street, likely affecting Conditions #20, #22, #23, #36, #38 and #39, X16-1006636B, X08/09/-1002051E.

-REFER TO URBAN AFFAIRS COMMITTEE

-PUBLIC HEARING: OCTOBER 17, 2016

07-25-2016 – **Order No. 16-1006634**: Application for Special Permit from Ryan Development LLC on behalf of Apex WR 1031 LLC and Walker Realty LLC for Proposed Car Wash, specifically to allow for the use of a car wash at Apex Center in the Hospitality and Recreation Mixed Use Overlay District, 22 Apex Drive.

-REFER TO URBAN AFFAIRS COMMITTEE

-PUBLIC HEARING: SEPTEMBER 12, 2016

07-25-2016 – **Order No. 16-1006635**: Application for Special Permit from Ryan Development LLC on behalf of Apex WR 1031 LLC and Walker Realty LLC for Proposed Car Wash, specifically to allow for a car wash in Zone B of Water Supply Protection District, 22 Apex Drive.

-REFER TO URBAN AFFAIRS COMMITTEE

-PUBLIC HEARING: AUGUST 29, 2016

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

The public should take due notice that the Marlborough City Council may have a quorum in attendance due to Standing Committees of the City Council consisting of both voting and non-voting members. However, members attending this duly posted meeting are participating and deliberating only in conjunction with the business of the Standing Committee.

Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 26, 2016

ORDERED:

That there being no objection thereto set **MONDAY, OCTOBER 17, 2016** as **DATE FOR PUBLIC HEARING** on Application to further modify Special Permit from Crabtree Lake Williams LLC for Overlook at Lake Williams, Lakeside Ave., to accommodate changes to the design and configuration of the emergency access road and perimeter fencing in the vicinity of Bond St., likely affecting Conditions #20, #22, #23, #36, #38 and #39, X16-1006636B, X08/09/-1002051E, be and is herewith refer to **URBAN AFFAIRS COMMITTEE, ADVERTISE.**

Ninety days after public hearing is 01/01/17 which falls on a Sunday, and Monday, 01/02/17 is a holiday, therefore 01/03/17 would be considered the 90th day.

ADOPTED

ORDER NO. 16-1006683
X16-1006636B
X08/09-1002051E



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2016 SEP 22 A 11:14

Arthur P. Bergeron
Mirick O'Connell
1800 West Park Drive, Suite 400
Westborough, MA 01581-3926
abergeron@mirickoconnell.com
t 508.860.1470
f 508.463.1385

September 22, 2016

VIA HAND DELIVERY

Councilor Edward Clancy, President
Marlborough City Council
City Hall
Marlborough, MA 01752

Re: Application to Modify Special Permit;
Overlook at Lake Williams, Lakeside Avenue

Dear Councilor Clancy:

Enclosed please find an application to amend the Special Permit for the Overlook at Lake Williams condominium community, located along Lakeview Avenue, submitted on behalf of my client Crabtree Lake Williams LLC.

As part of the applicant's recent application to amend the Special Permit, the applicant is seeking to further amend the Special Permit to accommodate changes to the design and configuration of the emergency access road and perimeter fencing in the vicinity of Bond Street.

Very truly yours,

Arthur P. Bergeron

APB/ljk

CITY OF MARLBOROUGH
OFFICE OF THE CITY CLERK

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2015 SEP 22 A 11:18

APPLICATION TO CITY COUNCIL FOR ISSUANCE OF SPECIAL PERMIT

1. Name and address of Petitioner or Applicant:

Crabtree Lake Williams LLC

2. Specific Location of property including Assessor's Plate and Parcel Number.

Lakeside Avenue, MBLU 67-45 and 68-30A

3. Name and address of owner of land if other than Petitioner or Applicant:

50 Deer Run, Ayer, MA 01432

4. Legal interest of Petitioner or Applicant (owner, lessee, prospective owner, etc.)

5. Specific Zoning Ordinance under which the Special Permit is sought:

Article 650 Section 17 Paragraph _____ Sub-paragraph Residential Use Multifamily Dwelling (4)

6. Zoning District in which property in question is located:

Business (B)

7. Specific reason(s) for seeking Special Permit

As part of the applicant's recent application to amend the Special Permit for the Overlook at Lake Williams residential condominium

project, recorded at Book 53183, Page 1, Order No. 08/09-I002051E (copy attached), the applicant is seeking to further amend

the Special Permit to accommodate changes to the design and configuration of the emergency access road and perimeter

fencing in the vicinity of Bond Street, likely affecting Conditions #20, #22, #23, #36, #38 and #39.

8. List of names and addresses of abutter. SEPARATE SHEET ATTACHED

PETITION IS HEREBY MADE FOR THE ISSUANCE OF A SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH AND IS BASED ON THE WITHIN PETITION OR APPLICATION AS FILED HEREWITH AND MADE PART OF SAID PETITION.

Arthur P. Bergeron (BBF)
Signature of Petitioner or Applicant

Arthur P. Bergeron
Address: Mirick, O'Connell, DeMallie & Lougee, LLP
1800 West Park Drive
Westborough, MA 01581

Telephone No. 508-860-1470

Date: _____

City Clerk's Office

LIST OF NAMES AND ADDRESS OF ABUTTERS
AS REQUESTED ON THE APPLICATION FOR SPECIAL PERMIT OF:

Crabtree Lake Williams LLC

(Name of Petitioner)

FOR THE ISSUANCE OF SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH UNDER CHAPTER 650, ZONING, OF THE CODE OF THE CITY OF MARLBOROUGH.

(Abutters as defined in §650-59, Section 4H, **Powers and Procedure of Special-Permit Granting Authorities**)

SPECIAL PERMIT-SUMMARY IMPACT STATEMENT

Applicant's Name: Crabtree Lake Williams LLC Address: (see front)

Project Name: Overlook at Lake Williams Address: Lakeside Avenue

1. PROPOSED USE: (describe) 60-Unit residential condominium community

2. EXPANSION OR NEW: Modification of existing special permit

3. SIZE: floor area sq. ft. _____ 1st floor _____ all floors _____

buildings 15 # stories 27 feet +/- lot area (s.f.) 1,358,636.4 +/-
(31.19 acres)

4. LOT COVERAGE: 11.06 % Landscaped area: 88.94 %

5. POPULATION ON SITE: Number of people expected on site at anytime:
Normal: 120 Peak period: 120

6. TRAFFIC:

(A) Number of vehicles parked on site:
During regular hours: 100 Peak period: 150

(B) How many service vehicles will service the development and on what schedule?
1 trash pickup per week.

7. LIGHT: How will the development be lit at the exterior? How much light will leave the property and enter the abutting property? Lighting will comply with the requirements of the approved Site Plan.

8. NOISE:

(A) Compare the noise levels of the proposed development to those that exist in the area now.
Same.

(B) Described any major sources of noise generation in the proposed development and include their usual times of operation. None.

9. AIR: What sources of potential air pollution will exist at the development? Automobiles.

10. WATER AND SEWER: Describe any unusual generation of waste. None.

11. HAZARDOUS MATERIAL: List any types of Hazardous Waste that will be on-site. How will this waste be stored? Where? How much will be in storage on a daily basis? How will it be disposed? None.

***Attach additional sheets if necessary**



**CITY OF MARLBOROUGH
MARLBOROUGH, MASSACHUSETTS 01752**

City Hall

140 Main St.

Marlborough, Massachusetts 01752

Voice (508) 460-3775 Facsimile (508) 460-3723 TTD (508) 460-3610

President and Members City Council

Date: September 20, 2016

**SPECIAL PERMIT APPLICATION
CERTIFICATION BY PLANNING DEPARTMENT**

Project Name: Overlook at Lake Williams

Project Use Summary: Residential

Project Street Address: 215 Lakeside Avenue

Plate: _____ Parcel: 67-45; 68-30A

Applicant/Developer Name: Crabtree Lake Williams LLC

Plan Date: 7/15/2013 Revision Date: 4/14/2014

Dear President and Members:

In accordance with the City Council's Rules for Special Permit Applications, I hereby certify that the Site Plan filed with the City Clerk has been reviewed by the Building Department within the limits of work shown on the plan, and that said plan meets all prior referenced informational requirements of Section 7; that the plan conforms in all aspects to City Code and to these Rules and Regulations, and that any necessary zoning variances have been already granted by the Marlborough Zoning Board of Appeals, and any applicable appeal period concerning said variances have run.

Very truly yours,


Doug Scott
Robert Camacho

Interim Building Commissioner

**Application Fee to submit to
City Clerk's office**

\$862.50

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**



**Lisa M. Thomas
City Clerk**

Dear Applicant,

To ensure that each department listed below receives a copy of your completed Special Permit application, please hand-deliver to each department as instructions indicate below.

PLACE A CHECK-MARK AFTER HAND-DELIVERING THE APPLICATION TO THE FOLLOWING DEPARTMENTS AND SIGN YOUR NAME & DATE IT ACCORDINGLY. MAKE SURE THIS PAGE IS SIGNED AND RETURNED TO THE CITY CLERK'S OFFICE WITH THE COMPLETED APPLICATION. THE CITY CLERK'S OFFICE WILL NOT ACCEPT THE APPLICATION WITHOUT THE SIGNATURE OF THE APPLICANT OR PETITIONER AS INDICATED BELOW.

3 SETS	OFFICE OF THE CITY CLERK _____
1 SET	POLICE CHIEF _____
1 SET	FIRE CHIEF _____
1 SET	CITY ENGINEER _____
1 SET	CITY PLANNER _____
1 SET	CONSERVATION OFFICER (IF WETLANDS AFFECTED) _____
1 SET	BUILDING INSPECTOR _____
12 SETS	OFFICE OF THE CITY COUNCIL _____

Signature

Date

Thank you for your cooperation in this matter.

Sincerely,

Lisa M. Thomas

City Clerk

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**



**Lisa M. Thomas
City Clerk**

I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all Municipal tax returns and paid all Municipal taxes required under law.

Company Name

Crabtree Lake Williams LLC

Owner Name/Officer Name of LLC or Corporation

B. Duke Pointer, Manager

Owner/Officer Complete Address and Telephone Number

50 Deer Run

Ayer, MA 01432

Signature of Applicant

Attorney on behalf of Applicant, if applicable


Attorney Brian R. Falk, Esq.

The Special Permit Package will not be accepted unless this certification clause is signed by the applicant and the Tax Collector.



Tax Collector

Southern Middlesex - 20/20 Perfect Vision i2 Document Detail Report

Current datetime: 7/20/2016 9:57:56 AM

Doc#	Document Type	Town	Book/Page	File Date	Consideration
133373	DECISION		53183/1	07/13/2009	
Property-Street Address and/or Description					
SEE RECORD, BOND ST, LAKESIDE AVE					
Grantors					
GUITIERREZ CO					
Grantees					
References-Book/Pg Description Recorded Year					
31932/433 TRUST 2000, 31932/445 REL 2000					
Registered Land Certificate(s)-Cert# Book/Pg					



16

IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____

ORDERED:

NOTICE OF DECISION GRANT OF SPECIAL PERMIT

16

In City Council
Order No.08/09- 1002051E

Application of:
Gutierrez Co.
1 Wall St.
Burlington, MA 01803



2009 00133373

Bk: 53183 Pg: 1 Doc: DECIS
Page: 1 of 16 07/13/2009 10:34 AM

Locus:
Parcels located on Lakeside Ave. and Bond St.
Map 67, Parcel 45 & Map 68, Parcel 30A

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Gutierrez Co. as provided in the **DECISION** and subject to the following **FINDINGS OF FACTS AND CONDITIONS**.

Decision filed: **June 18, 2009**

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on **June 18, 2009**.

This is to certify that twenty (20) days have passed since the filing of the within decision and no appeal has been filed with this office.
Given at Marlborough this 9th day of July, 2009.

Given under Chapter 40A sec. 11 of the General Laws.

A TRUE COPY
ATTEST: *Alaine Y. Luceri*
asst., City Clerk



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____

ORDERED:

NOTICE OF DECISION GRANT OF SPECIAL PERMIT

In City Council
Order No.08/09- 1002051E

Application of:
Gutierrez Co.
1 Wall St.
Burlington, MA 01803

Locus:
Parcels located on Lakeside Ave. and Bond St.
Map 67, Parcel 45 & Map 68, Parcel 30A

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Gutierrez Co. as provided in the DECISION and subject to the following **FINDINGS OF FACTS AND CONDITIONS**.

Decision filed: **June 18, 2009**

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on **June 18, 2009**.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, Ma.

ATTEST:

City Clerk



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____ PAGE 1

ORDERED:

The City Council of the City of Marlborough hereby GRANTS the application for a Special Permit to The Gutierrez Company, having a usual place of business at One Wall Street, Burlington, Massachusetts 01803 as provided in the Decision and subject to the following Procedural Findings, Findings of Facts and Conditions:

PROCEDURAL FINDINGS

1. The Gutierrez Company is a corporation organized and existing under laws of the State of Delaware registered to do business in the Commonwealth of Massachusetts and having a usual place of business at One Wall Street, Burlington, Massachusetts 01803 (the "Applicant").
2. The Applicant, through a realty trust known as Marlborough/Northborough Land Realty Trust u/d/t dated October 12, 2000 recorded in the Middlesex South District Registry of Deeds in Book 31932 Page 433, is the owner of the property described in the Middlesex South District Registry of Deeds in Book 31932 Page 445 known as Lakeside Avenue and Bond Street, Marlborough, MA as shown on the City of Marlborough Assessors Maps Map 67, Parcel 45 and Map 68 Parcel 30A (the "Site").
3. The Applicant, on or about November 6, 2008 filed with the City Clerk of the City of Marlborough an Application To City Council for Issuance of Special Permit (the "Application") under Chapter 200 (Zoning) of the Code of the City of Marlborough, Article 200 Section 13, Paragraph C. Sub-paragraph 4 (1986 Code) Article V Section 200-17 Residential Use Multi-family dwelling (4) (2008 Code) to construct a 60 unit townhouse condominium community on approximately 31.2 acres of land located at Assessors Map 67 Parcel 45 Lakeside Avenue and Assessors Map 68 Parcel 30A Bond Street (the "Project").
4. The Application, filed on November 6, 2008, consisted of an original and two copies of the following: (a) Application to the City Council for Issuance of Special Permit, (b) Special Permit-Summary Impact Statement, (c) Filing Fee check in the amount of \$1,725.00, (d) Drainage Report, (e) Traffic Study, (f) Plan Delivery Certification, (g) Tax Payment Certification, (h) Abutters List, (i) Preliminary Site Plan, and (j) Planning Department Certification (collectively the "Documents") which Documents are incorporated herein and become a part of this Decision. Eleven sets of documents were delivered to the City Council and one set each to the Police Chief, the Fire Chief, the City Planner (Building Commissioner), the City Engineer, and the Conservation Officer, all in accordance with Chapter 200 Section 200-59 of the Zoning Code (1986 Code) of the City of Marlborough.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____ PAGE 2

ORDERED:

5. The Applicant filed with the Application a Certificate of Completeness of Application on a form signed by the Building Commissioner for the City Planner for the City of Marlborough as having complied with the provisions of Chapter 200 (Zoning Code) Section 200-59, C. (7) (a), (b) and (c) (1986 Code).
6. In accordance with the Rules and Regulations of the City Council and Massachusetts General Laws Chapter 40A, Sections 9 and 11, the City Council established a date for a public hearing on the Application, caused to be advertised notice of said hearing and the date thereof in the MetroWest Daily News, and mailed said notice to those entitled thereto.
7. The Marlborough City Council held a public hearing on the Application on December 1, 2008 in accordance with the published notice (the "Public Hearing"). The Public Hearing was opened and continued to December 15, 2008. The Public Hearing was further continued to January 5, 2009 and following the completion of testimony the Public Hearing was closed on said date. By timely agreement of the Applicant and the City Council, acting in its capacity as special permit granting authority, the time for the Council to take final action on the Application was extended to June 8, 2009 at 5 pm and further extended until June 22, 2009 at 11:59 pm.
8. The Applicant presented testimony at the Public Hearing detailing the Project, its impact upon municipal services, the neighborhood, traffic, drainage, and such issues as the City Council and members of the public deemed appropriate. Members of the public had the opportunity to testify at the Public Hearing. Subjects of concern were drainage, traffic, emergency access to and from Bond Street, sewer system flow, and retaining walls.
9. The Applicant provided written and oral documentation and testimony to the City Council and the City Council's Urban Affairs Committee regarding the Site, traffic impacts, open space, landscaping, drainage, lighting, water and sewer use, other utility improvements associated with the Project, and the production of affordable housing.
10. The Project is located on 31.2 acres of land on the north side of Lakeside Ave. (Route 20 West) between The Holiday Inn and Dunkin Donuts. It has approximately 341 feet of frontage along Lakeside Avenue (Route 20 West).



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 3

ORDERED:

11. Except for the emergency access way to and from Bond Street which is located in the Residence A-3 District, the Site is currently divided between two zoning districts. The development portion of the Site totals approximately 8.1 acres, and is located within the Business B District. The balance of the Site is located within the Limited Industrial District. All of the proposed development is within the Business B District except for the emergency access way from Bond Street.
12. The Project meets or exceeds all dimensional requirements of the Zoning Ordinance of the City of Marlborough.
13. The Project consists of 15 buildings each with four condominium units. There are six (6) one bedroom units, forty-eight (48) two bedroom units and six (6) three bedroom units. Building height is limited to 2 stories or twenty-three and a half (23.5') feet high. Each unit will have an attached one car garage. A Tot Lot or play area will be constructed and located as shown on the Detailed Site Plan.
14. One hundred eighty (180) parking spaces are provided and are in accordance with the Zoning Ordinance requirements of the City of Marlborough.
15. The Traffic Evaluation prepared by Vanasse Hangen Brustlin, dated November 6, 2008, indicates the total average daily traffic trips to be generated by the Project is projected to be 415 per day on a weekday. The Traffic Evaluation projects peak hour traffic volumes to be generated by the Project are: in the morning 5 trips entering and 30 trips exiting the Site per hour, and in the evening 25 trips entering and 15 trips exiting per hour.
16. To provide safe access and egress to and from the Site, the Applicant, its affiliates, successors and/or assigns will design and construct a series of access improvement measures including a deceleration taper on Route 20 westbound, a left-turn pocket on Route 20 eastbound, and relocation of the existing retaining wall on the north side of Route 20 to improve sight distance.
17. The Applicant states there is sufficient potable water available in the City's water system to supply the Project. A looped water system will be constructed from Route 20 through the Project Site out to Bond Street.
18. The Project will generate approximately 13,200 gallons per day of sewer flow per design flows. The sewer will be directed through the City of Marlborough's waste water system through the Lake Williams Pumping Station to the easterly wastewater treatment plant. Said plant has the capacity to treat the wastewater generated by the Project.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 4

ORDERED:

19. Natural gas is available to the Project Site.
20. Telephone, Electricity and Cable TV services are all available to serve the Project.
21. The Applicant states that the Site Plan provides for proper management of stormwater runoff from the Project. The Applicant states that proposed runoff rates are less than existing runoff rates; that there will be no adverse impact to any surrounding areas; that the drain systems have been properly designed to handle the design flow rates; and that reduced Total Suspended Solids will result in improved quality of stormwater runoff to receiving areas. Stormwater drain system improvements will be made in Route 20, thereby improving existing problem conditions in Route 20. All drainage improvements in Route 20 must be approved by the Commonwealth of Massachusetts.
22. Site lighting will be provided according to the Electrical Site Lighting Plan submitted with the Application.
23. All buildings will be fully sprinkled and constructed in accordance with the latest life safety, building codes, and other applicable laws.
24. Applicant will designate 9 units or 15% of the units as affordable housing units.

BASED UPON THE ABOVE, THE CITY COUNCIL OF THE CITY OF MARLBOROUGH MAKES THE FOLLOWING FINDINGS:

- A. The City Council finds that it may grant a Special Permit (Special Permit) subject to such terms and conditions as it deems necessary and reasonable to protect the citizens of the City of Marlborough (also referenced herein as the "City").
- B. The City Council finds the Application for the Special Permit does not derogate from the intent or purpose of the Zoning Ordinance of the City of Marlborough, or Massachusetts General Laws Chapter 40A, et seq.
- C. The City Council finds that the use of the Site for the Project is an appropriate use, and is in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____ PAGE 5

ORDERED:

D. The Site Plan, as submitted to the City Council and the City Council's Urban Affairs Committee, provides improvements that will protect the environment, mitigate traffic impacts, and enhance the quality of life for the residential community abutting the Project. The City Council makes this determination subject to the completion and adherence by the Applicant to the conditions more fully set forth herein and to the site plan to be submitted to and approved by the Site Plan Review Committee, which site plan shall be drafted to reflect engineering consistent with this Permit.

E. The Applicant has complied with all the procedural rules and regulations of the City Council of the City of Marlborough and Chapter 200 (Zoning Code) of the City of Marlborough (1986 Code) and Massachusetts General Laws Chapter 40A, Sections 9 and 11.

GRANT OF SPECIAL PERMIT WITH CONDITIONS

The City Council of the City of Marlborough pursuant to its authority under Chapter 200 (Zoning Code) of the Code of the City of Marlborough (1986 Code) and Massachusetts General Laws Chapter 40A, GRANTS to the Applicant a Special Permit to construct the Project to be used as a 60 Unit Condominium Townhouse Community consisting of 15 buildings as set forth in the Application Documents and as per the Site Plan submitted to the City Council and the City Council's Urban Affairs Committee, and subject to the following conditions:

1. Construction. Construction of all structures on the Site is to be in accordance with all building codes, zoning regulations, and other applicable laws in effect in the City of Marlborough and Commonwealth of Massachusetts and shall be built according to the Site Plan prepared by John G. Crowe Associates, Inc. 385 Concord Avenue, Suite 1, Belmont, MA 02478, dated November 6, 2008, filed with the Permit Application and as revised during the application process on April 10, 2009. The Applicant's Site Plan indicates a permitted building area in which the buildings are to be located.

2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review, in accordance the City of Marlborough Code, prior to issuance of the Building Permit. Any additional changes, alterations, modifications or amendments as required by Site Plan Review shall become further conditions to this Special Permit. A Permanent Occupancy Permit shall not be issued until all conditions are complied with by the Applicant, provided, however, that a Temporary Occupancy Permit for individual condominium units may issue upon a determination by the Building Commissioner that the Site is substantially complete, providing for a phased development of the Site, and no Permanent Occupancy Permit shall be issued until all conditions are



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 6

ORDERED:

complied with by the Applicant. Site Plan Review shall be consistent with this Special Permit. Any violation of a condition of the Site Plan Approval shall be a violation of this Special Permit.

3. Hazardous Waste. The Applicant shall comply with all directives by the Department of Environmental Protection of the Commonwealth of Massachusetts relative to the existence of any hazardous waste which may be located on the Site, including compliance with the provisions of Massachusetts General Laws Chapter 21E and any other applicable government codes and regulations as they relate to the authority of the Fire Chief of the City of Marlborough.

4. Compliance with Local, State and Federal Laws. The Applicant shall comply with all applicable rules, regulations, and ordinances of the City of Marlborough, Commonwealth of Massachusetts, and Federal Agencies as they may apply to the construction, maintenance, and operation of the Project and Site, and all decisions and findings related thereto, including without limitation compliance with local Conservation Commission Orders, the Massachusetts Environmental Policy Act (MEPA), Massachusetts General Laws Chapter 30, Section 61, and the Massachusetts State Building Code. The terms and conditions of such decisions and findings shall become a part of this decision.

5. Inspectional Services Mitigation. The Applicant, its affiliates, successors and/or assigns shall, prior to issuance of the Building Permit for the Project, provide a payment to the City of Marlborough Inspectional Services fund in the amount of six thousand (\$6,000.00) dollars to offset the increases in costs associated with the Project. The City shall expend said funds as needed to contract for temporary staff, materials, supplies, and equipment so as to enable the Inspections Staff to provide adequate and timely inspections of the Project construction.

6. Route 20 Landscape and Traffic Mitigation. The Applicant, its affiliates, successors, and/or assigns shall install approximately 830 linear feet of granite curbing along Route 20, hydroseed barren areas, and place ornamental flowering shade trees (the "Route 20 Landscaping Work") all as shown on the Proposed Mitigation for Overlook at Lake Williams rendering filed with plans for the Project. The Applicant, its affiliates, successors and/or assigns shall file a more detailed plan consistent with said rendering with the Site Plan Review Committee. The plan for said work as approved by the Site Plan Review Committee shall be part of this Permit. The Applicant, its affiliates, successors and/or assigns shall perform such Route 20 Landscaping Work as described herein and as shown on the rendering filed with the plans for the Project, concurrently with the initial clearing and excavating activities of the Project Site. The Applicant, its affiliates, successors and/or assigns, shall complete all such Route 20 Landscaping Work



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 7

ORDERED:

prior to the issuance of any Building Permit for the Project.

7. Detention Basins. The Applicant, its affiliates, successors and/or assigns, shall inspect the on-site detention basins not less than annually with respect to sedimentation accumulation, and shall provide copies of annual reports to the City Engineer. To the extent such reports indicate the need for sediment removal, the same shall be removed by the Applicant, at no cost to the City, and within thirty (30) days following such direction from the City Engineer.

8. Catch Basins. The Applicant, its affiliates, successors and/or assigns shall equip all catch basins with sumps and inverted outlets as more fully shown on the Site Plan, shall monitor the catch basins on a semi-annual basis and furnish reports to the City Engineer, and shall clean the catch basins annually or at more frequent intervals as determined by the City Engineer. The maintenance of the detention basins and catch basins as described herein shall be included in the Operations & Maintenance (O & M) Plan that the Applicant, its affiliates, successors and/or assigns shall develop and implement for the Project, as more particularly described below.

9. Snow Storage. The Applicant, its affiliates, successors and/or assigns shall provide for snow storage on-site and stockpile snow only from the Project, may elect to utilize off-site snow storage, and shall direct snowmelt runoff toward catch basins.

10. Parking Areas. (i) The Applicant, its affiliates, successors and/or assigns shall sweep all parking areas as necessary. (ii) Pursuant to the provisions of Massachusetts General Laws Chapter 90, Section 18, the Applicant, its affiliates, successors and/or assigns shall submit a written request and grant of authority to the Marlborough Traffic Commission to promulgate legally enforceable rules and regulations for the control of on-site traffic and parking. The Applicant, its affiliates, successors and/or assigns shall be responsible for providing, installing, and maintaining all signage or markings required. Such signage or markings shall meet the standards of the Manual on Uniform Traffic Control Devices.

11. Construction Traffic. During construction of the Project, the Applicant, its affiliates, successors and/or assigns shall impose on each of its contractors a requirement that all heavy equipment accessing the Site shall use Route 20 and not to use residential streets abutting the Project.

12. Off-Site Improvements. In connection with the installation of improvements within public right-of-ways which requires a street opening permit, the City Engineer shall be provided by the Applicant, prior to the commencement of any work, with a schedule of such work and the construction procedures to be utilized prior to



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____ PAGE 8

ORDERED:

the commencement of such work. A Police detail shall be provided by the City at the Applicant's expense for any utility work performed within the public way.

13. Traffic Improvements. (a) All traffic improvements will be constructed by the Applicant, its affiliates, successors and/or assigns in accordance with the Site Plan submitted to the City Council and the City Council's Urban Affairs Committee and as approved by the Commonwealth of Massachusetts Highway Department. (b) Applicant, its affiliates, successors and/or assigns will construct a second means of ingress and egress to and from Bond Street to be used in emergency situations only. The Bond Street entrance will be gated and equipped with a locking system approved by the Fire Department and installed by the Applicant..

14. Landscaping. The Applicant, its affiliates, successors and/or assigns shall plant and maintain the Project's landscaping as shown on the Site Plan submitted with the Application as may be amended during Site Plan Review.

15. Utilities Review. The detailed review of on-site and off-site utilities will be performed as part of the Site Plan Review process, and such utilities as may be required by the City Engineer during this review shall be provided by the Applicant. The Applicant, its affiliates, successors and/or assigns shall deliver to the City Engineer, prior to the commencement of construction of the water and sewer improvements, copies of the final plans and schedule of work of such improvements for final review and approval by the City Engineer.

16. Water-Sewer. Water and Sewer services provided to the Project shall be subject to currently applicable citywide water and sewer policies and charges subject to annual adjustment by the Commissioner of Public Works. The Applicant, its affiliates, successors and/or assigns shall develop an on-site water supply for irrigation purposes. Use of the City's water supply for irrigation purposes may only be permitted, upon demonstration by the Applicant to the City Engineer, that on-site supplies are inadequate due to quantity or quality.

17. Conservation Commission. The Applicant, its affiliates, successors and/or assigns shall construct a dry bottom detention basin according to the Site Plan as amended and shall comply with the terms and conditions of any final, duly issued Order of Conditions issued pursuant to the Wetlands Protection Act (Massachusetts General Laws Chapter 131, Section 40) so long as they are consistent with this provision.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 9

ORDERED:

18. Outside Storage. Outside storage of utility trailers, motor homes, boats, campers or other recreational vehicles shall not be permitted on the grounds of the Project, except that the same may be stored in a unit condominium garage. The condominium documents shall contain a restrictive provision covering and consistent with this condition.

19. School Bus Stop. An area next to Lakeside Ave. (Route 20) as shown on the Site Plan shall be provided for a school bus stop. The Applicant, its affiliates, successors and/or assigns shall construct and maintain a partially enclosed bus shelter for students and parents waiting for a school bus. The Applicant shall illuminate said bus shelter.

20. Snow Storage on Emergency Access Road. There will be no storage of snow on the emergency access road east of the gate and fencing as shown on the Site Plan, abutting the Bond Street neighbors. In addition, the Applicant, its affiliates, successors and/or assigns shall make reasonable efforts to ensure snow is removed from the emergency access road in such a way that does not disturb the abutting Bond Street neighbors. The Applicant, its affiliates, successors and/or assigns, shall clear snow from the emergency access road into the Project Site away from the abutting Bond Street neighbors, and store and stockpile in designated snow storage areas as delineated on the Site Plan page SP 7 "Snow Storage Plan". No snow may be brought onto the Site from off site.

21. Use of Parking Areas. The parking areas delineated on the Site Plan must be used only for parking automotive vehicles of unit owners and their invitees and guests.

22. Stockade Fence. The Applicant, its affiliates, successors and/or assigns shall erect a white vinyl stockade fence, eight feet (8') in height with a lattice feature, along the Bond Street side of the Project, all as shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee.

23. Chain Link Fence. The Applicant, its affiliates, successors and/or assigns shall erect a black vinyl chain link fence along the Bond Street side of the Project, transitioning from the stockade fence to an area at the front of the Site on Lakeside Avenue (Route 20), all as shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee.

IN CITY COUNCIL



JUNE 8, 2009

Marlborough, Mass., PAGE 10

ORDERED:

24. Ornamental Fence. As shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee, the Applicant, its affiliates, successors and/or assigns shall install black aluminum ornamental fencing, six feet (6') in height, on the top of all walls so as to prevent access by pedestrians and children. As shown on said Site Plan, the Applicant, its affiliates, successors and/or assigns shall install black vinyl chain link fencing around the Tot Lot and detention basin located at the rear of the Site. As shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee, the black aluminum ornamental fencing to be installed on the walls surrounding the dry detention basin adjacent to Route 20 shall be no less than six feet (6') in height.

25. Exterior Siding of Buildings. The exterior siding of the buildings shall be constructed of vinyl equal to or per the outline specification submitted for the record.

26. Management of Project/Condominium. The Project, and condominium created (the "Condominium"), shall be managed by a third party professional condominium management company, and the condominium documents shall contain a restrictive provision covering and consistent with this condition.

27. Operation and Maintenance Plan. The Applicant, its affiliates, successors and/or assigns, shall develop an Operation and Maintenance (O & M) Plan for the Project's stormwater management system, including any components and/or structures to be located in Route 20 and City-owned property. The O & M Plan must be approved by the Conservation Commission and the City Engineer. The Applicant, its affiliates, successors and/or assigns, shall be responsible for the execution of the O & M Plan and the performance of the maintenance in accordance with the provisions thereof. Upon the transfer of the management of the Project and Condominium to the newly elected condominium association (the "Condominium Association"), the Condominium Association shall then be responsible for the compliance with this provision. The condominium documents shall contain a restrictive provision covering and consistent with this condition.

28. Stormwater Management Reserve Account. The condominium documents shall provide for the establishment of a stormwater management reserve account (the "Reserve Account"), which will insure that funds are available to maintain the said system. The Reserve Account balance shall be equal to at least two (2) years of the estimated cost to maintain the Project's stormwater management system, at all times, and shall be made available to the Conservation Commission upon request.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 11

ORDERED:

29. Management Responsibilities of Project/Condominium. The Applicant, its affiliates, successors and/or assigns, shall retain all property management responsibilities for the Project and Condominium until all units are initially sold, whereupon all maintenance responsibilities provided for hereunder in this provision and other provisions of this Permit shall be transferred to the Condominium Association. The condominium documents shall contain a restrictive provision covering and consistent with this condition.

30. Owner-Occupancy. All units shall be owner-occupied only, with the provision that there shall be no rentals. The condominium documents shall contain a provision covering and consistent with this condition.

31. Reimbursement of City Engineering Costs. The Applicant, its affiliates, successors and/or assigns shall reimburse the City of Marlborough for all reasonable costs incurred in its review of the Project's sewer system, specifically, all pertinent data relating to the Project's connection to the sewer pump station located on Route 20 at Lake Williams. The City will forward for reimbursement by Applicant, its affiliates, successors and/or assigns all third-party invoices to cover this scope of work.

32. Erosion and Sedimentation Control Plan/Construction Sequencing Plan. The Applicant, its affiliates, successors and/or assigns shall develop an erosion and sedimentation control plan, incorporating proposed erosion and sedimentation control measures, as well as a construction sequencing plan, for the Project. Both plans must be approved by the Conservation Commission and the City Engineer. The Applicant, its affiliates, successors and/or assigns shall be responsible for the execution of said plans and the performance of the maintenance in accordance with the provisions thereof.

33. Hiring of Site Engineer for Stormwater and Erosion Management Control. The Applicant, its affiliates, successors and/or assigns shall be required to hire a site engineer who shall be competent in stormwater and erosion control management. This individual(s) credentials shall be acceptable to the Engineering Division and the Conservation Commission. This individual(s) shall be responsible for checking the site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan, the approved erosion control plan, and the Conservation Commission's Order of Conditions. The Applicant, its affiliates, successors and/or assigns shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., PAGE 12

ORDERED:

34. Left-Hand Turns. To provide for safe egress from the Project, left-turn movements exiting the Project Site shall be prohibited; left turns into the Project Site are permitted.

35. Sidewalks. The Applicant, its affiliates, successors and/or assigns shall provide sidewalks within the Project for pedestrian circulation. Such sidewalk system shall connect to the existing sidewalks in Route 20 along the Project's frontage. All sidewalks within the Project shall be constructed with sloped granite curbing and bituminous concrete. All disturbed areas to the sidewalk system along the Project's frontage on Route 20 shall be reconstructed and/or repaired to match the existing sidewalk specification and profile.

36. Paving of Emergency Access Road. As shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee, the emergency access road shall be paved by the Applicant and shall comply with the City's street design standards.

37. Maintenance of Roadways. All roadways within the Project, including the emergency access road, shall be maintained by the Applicant, its affiliates, successors and/or assigns and shall be kept free and clear of snow and ice at all times by the Applicant, its affiliates, successors and/or assigns, and shall not be used for overflow parking at any time. Parking shall only be allowed in the parking spaces as shown on the Site Plan and prohibited at all times within the roadways of the Project to provide for normal traffic and emergency vehicles.

38. Emergency Access Road Gate. The emergency access road gate shall be maintained so as to operate freely by one person, and shall be provided and maintained with an opening and locking system approved by the Fire Department. The emergency access road gate shall be an eight (8') foot high chain link fence with white vinyl slats consistent in design with the proposed stockade fence along the Bond Street side of the Project as noted herein. An approved fire annunciator panel shall be located on the main entrance roadway into the Project, with details of its exact location and installation requirements to be determined during the Site Plan Review and fire alarm permitting process.

39. Vegetation on Emergency Access Road. The emergency access road shall be kept clear of all vegetation by the Applicant, its affiliates, successors and/or assigns to include a vertical clearance of sixteen feet (16').



IN CITY COUNCIL

JUNE 8, 2009

Marlborough, Mass., _____ PAGE 13

ORDERED:

40. Retaining Walls at Main Driveway. As shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee and per the outline specification submitted for the record, the modular retaining wall system to be constructed along both sides of the Project's main driveway shall be by "Allan Block, AB Europa Collection, Abbey Blend Pattern", an equal or better, in texture, size, pattern and color, if this particular product line is discontinued or unavailable.

41. Retaining Walls at Dry Detention Basin. As shown on the Site Plan submitted to the City Council and City Council's Urban Affairs Committee and per the outline specification submitted for the record, the cast-in-place concrete retaining wall system to be constructed along the dry detention basin at the front of the Site, the face of which retaining wall shall have a fieldstone appearance (formed, veneer, or other).

42. Route 20 Access and Maintenance Agreement. The Applicant, its affiliates, successors and/or assigns, shall obtain an access permit and permanent maintenance agreement between the Applicant and the Commonwealth of Massachusetts Highway Department for the installation and maintenance of the drains and related structures in Route 20 as shown on the Site Plan.

43. City of Marlborough Access and Maintenance Agreement. The Applicant, its affiliates, successors and/or assigns, shall obtain an access permit and permanent maintenance agreement between the Applicant and the City of Marlborough for the installation and maintenance of the storm water outlet structure, which outlets from the Route 20 drains below Route 20 onto City of Marlborough property as shown on the Site Plan.

44. Sullivan Property - Bond Street. In the event the owner of the property located at 36 Bond Street, Marlborough, MA, incurs water seepage into the basement of said property, and proven such water seepage is a direct result of water run-off from the Project Site, the Applicant, its affiliates, successors, and/or assigns, shall make all necessary and reasonable repairs to remedy the situation. Applicant, its affiliates, successors and/or assigns, agrees to abandon any rights it may have to a seven (7') foot right of way on land of Sullivan abutting the emergency access leading from Bond Street to the Site.

45. Recording of Special Permit. In accordance with the provisions of Massachusetts General Laws Chapter 40A, Section 11, the Applicants at their expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed.

**ABUTTERS LISTING for Crabtree Lake Williams (67-45, 68-30A) 400 ft
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co Owner's Name	Address	City	St Zip	Parcel Location
54	17			RIBAKOFF CHARLES K II TR	EJR REAL ESTATE TRUST	PO BOX 912	WORCESTER	MA 01613-0912	ELM ST
67	45	1A	20	CRABTREE LAKE WILLIAMS LLC		PO BOX 377	MARLBOROUGH	MA 01752	20 ICE HOUSE LANDING
67	45	1C	24	CRABTREE LAKE WILLIAMS LLC	N/O JOSEPH TROLLA	24 ICE HOUSE LANDING	MARLBOROUGH	MA 01752	24 ICE HOUSE LANDING
67	45	1D	26	CRABTREE LAKE WILLIAMS LLC	N/O DENISE SPEZIALE	26 ICE HOUSE LANDING	MARLBOROUGH	MA 01752	26 ICE HOUSE LANDING
67	45	13A	120	CRABTREE LAKE WILLIAMS LLC	N/O BARBARA SCHACHT	120 ICE HOUSE LANDING	MARLBOROUGH	MA 01752	120 ICE HOUSE LANDING
67	45	13B	122	CRABTREE LAKE WILLIAMS LLC	N/O CAROL MCCOMBS	122 ICE HOUSE LANDING	MARLBOROUGH	MA 01752	122 ICE HOUSE LANDING
67	45	13D	126	CRABTREE LAKE WILLIAMS LLC	N/O MATTHEW GUSDORF & NICOLE MORRIS	126 ICE HOUSE LANDING	MARLBOROUGH	MA 01752	126 ICE HOUSE LANDING
67	47			METRO PARK CORPORATION		42 WESTBORO RD	NORTH GRAFTON	MA 01536	362 ELM ST
67	48	1	105	352 ELM STREET REALTY CORP		28 LORD RD #105	MARLBOROUGH	MA 01752	28 LORD RD #105
67	48	1	125	MASSACHUSETTS ELEMENTARY SCHOOL	PRINCIPALS EDUCATION FOUNDATION INC	28 LORD RD #125	MARLBOROUGH	MA 01752	28 LORD RD #125
67	48	1	130	MASSACHUSETTS ELEMENTARY SCHOOL	PRINCIPALS EDUCATION FOUNDATION INC	28 LORD RD #130	MARLBOROUGH	MA 01752	28 LORD RD #130
67	48	1	135	SCHAFFER ROBERT W TR	LORD RD 135 TRUST	93 NASHAWAY RD	BOLTON	MA 01740	28 LORD RD #135
67	48	1	205	QPS LLC		1 SUNNY HILL DR	OXFORD	MA 01540	28 LORD RD #205
67	48	1	210	NEW ENGLAND SCHOOL DEVELOPMENT COUN		28 LORD RD #210	MARLBOROUGH	MA 01752	28 LORD RD #210
67	48	1	215	BAM HOLDINGS LLC		28 LORD RD #215	MARLBOROUGH	MA 01752	28 LORD RD #215
67	48	1	225	MIDDLESEX MEDICAL SERVICES INC		28 LORD RD #225	MARLBOROUGH	MA 01752	28 LORD RD #225
67	48	1	230	NEW ENGLAND SCHOOL DEVELOPMENT COUN		28 LORD RD #210	MARLBOROUGH	MA 01752	28 LORD RD #230
67	48	1	255	MIDDLESEX MEDICAL SERVICES INC		28 LORD RD #255	MARLBOROUGH	MA 01752	28 LORD RD #255
67	48	1	257	KOUL ANUPAM		37 ASPEN AVE	SOUTH GRAFTON	MA 01560	28 LORD RD #257
67	48	1	267	KIRSHE GREGORY A TR DWBH REALTY TRU	C/O UNITED SOLUTIONS INC	28 LORD RD #285	MARLBOROUGH	MA 01752	28 LORD RD #267
67	48	1	270	28 LORD ROAD LLC		5 COBBLESTONE WAY	SHREWSBURY	MA 01545	28 LORD RD #270
67	48	1	280	R & B REALTY PARTNERS LLC		28 LORD RD #280	MARLBOROUGH	MA 01752	28 LORD RD #280
67	48	1	285	KIRSHE GREGORY A TR DWBH REALTY TRU	C/O UNITED SOLUTIONS INC	28 LORD RD #285	MARLBOROUGH	MA 01752	28 LORD RD #285
67	49			SAFFLOWER LLC		PO BOX 590179	NEWTON CENTER	MA 02459	314-320 ELM ST
67	50			RIBAKOFF CHARLES K II TR	EJR REAL ESTATE TRUST	PO BOX 912	WORCESTER	MA 01613-0912	401 ELM ST
67	51			ARCHILA VICTOR M	ADRIANA A ARCHILA	21 BALCOM RD	MARLBOROUGH	MA 01752	367 ELM ST
67	52			GRADIJAN DAVID		359 ELM ST	MARLBOROUGH	MA 01752	359 ELM ST
67	48A			CEDAR HILL ASSOCIATES IV	C/O ALAN GERMAIN	25 COACHMAN RIDGE	SHREWSBURY	MA 01545	LORD RD
67	48B			CEDAR HILL ASSOCIATES IV	C/O ALAN GERMAIN	25 COACHMAN RIDGE	SHREWSBURY	MA 01545	LORD RD
68	22			WALKER JAREK		166 WINTER ST	MARLBOROUGH	MA 01752	166 WINTER ST
68	23			PACIFIC GEORGE R		158 WINTER ST	MARLBOROUGH	MA 01752	158 WINTER ST
68	24			LEWIS JENNIFER E	STEVEN W LEWIS	150 WINTER ST	MARLBOROUGH	MA 01752	150 WINTER ST
68	25			CHAN GEORGE TR	N/O MAGDALENA CASTELLON	142 WINTER ST	MARLBOROUGH	MA 01752	142 WINTER ST
68	26			FERREIRA ANTONIO A	OLGA L FERREIRA	47 BRIGHAM ST	HUDSON	MA 01749	132 WINTER ST
68	27			BLAIS SYLVIO	MARY ELLEN BLAIS	39 COMMONWEALTH AVE	MARLBOROUGH	MA 01752	126 WINTER ST
68	28			SOUMOULIS DAVID P		116 WINTER ST	MARLBOROUGH	MA 01752	116 WINTER ST
68	30			SEMIDEY MIGUEL	SANDRA SEMIDEY	50 BOND ST	MARLBOROUGH	MA 01752	50 BOND ST
68	31			SERRANO ILIANA E		52 BOND ST	MARLBOROUGH	MA 01752	52 BOND ST
68	32			RABELO SALLY E	LEONARDO O RABELO	35 BOND ST	MARLBOROUGH	MA 01752	35 BOND ST
68	33			RICH CAROLE A	BRIAN J RICH	41 BOND ST	MARLBOROUGH	MA 01752	41 BOND ST
68	34			SEYMOUR RALPH J TR	RAH RAH REALTY TRUST	47 BOND ST	MARLBOROUGH	MA 01752	47 BOND ST
68	35			LANDRY ROBERT W	SANDRA A LANDRY	51 BOND ST	MARLBOROUGH	MA 01752	51 BOND ST
68	36			ENEGUESS THOMAS J	CARLENE M ENEGUESS	8 PENNICHUCK ST	NASHUA	MA 03064-1239	53 BOND ST
68	37			CHEN HUAIMO	KAJIA WANG	30 DANFORTH LN	BOLTON	MA 01740	57 BOND ST
68	38			RASSI RUBEN		65 BOND ST	MARLBOROUGH	MA 01752	65 BOND ST
68	39			LACROIX LOUIS P TR	MARIE A LACROIX TR	102 WINTER ST	MARLBOROUGH	MA 01752	102 WINTER ST

**ABUTTERS LISTING for Crabtree Lake Williams (67-45, 68-30A) 400 ft
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co Owner's Name	Address	City	ST Zip	Parcel Location
68	40			DEMORAIS REGINALDO		233 SOUTH ST	MARLBOROUGH	MA 01752	98 WINTER ST
68	41			BENWAY JAY M	LONA A BENWAY	84 WINTER ST	MARLBOROUGH	MA 01752	84 WINTER ST
68	42			SILVA BLANCA N		PO BOX 436	MARLBOROUGH	MA 01752	70 WINTER ST
68	43			CLOUTIER RICHARD O	SALLY A CLOUTIER	62 WINTER ST	MARLBOROUGH	MA 01752	62 WINTER ST
68	44			LANDRY ROBERT W	SANDRA A LANDRY	51 BOND ST	MARLBOROUGH	MA 01752	WINTER ST
68	46			BRENNAN JAMES M TR	FRANCIS J BRENNAN TR	48 WINTER ST	MARLBOROUGH	MA 01752	48 WINTER ST
68	47			ERLANDSON GERALD R	SELMA R ERLANDSON	40 WINTER ST	MARLBOROUGH	MA 01752	40 WINTER ST
68	48			ERLANDSON GERALD R	SELMA R ERLANDSON	40 WINTER ST	MARLBOROUGH	MA 01752	WINTER ST
68	49			CAMERON ROBERT A	TERESA K CAMERON	32 WINTER ST	MARLBOROUGH	MA 01752	32 WINTER ST
68	50			GRASSO PASAQUALE F JR TR	SUSAN M LEFEBVRE TR	26 WINTER ST	MARLBOROUGH	MA 01752	26 WINTER ST
68	52			COMMUNITY DEVELOPMENT AUTHORITY		140 MAIN ST	MARLBOROUGH	MA 01752	WINTER ST
68	54			MESSIER LEOPOLD TR	WINTER STREET REALTY TRUST	67 WINTER ST	MARLBOROUGH	MA 01752	67 WINTER ST
68	55			HIGGINS JEFFREY		PO BOX 805	NORTHBOROUGH	MA 01532	75 WINTER ST
68	56			CUCAFATE RONALD V		91 WINTER ST	MARLBOROUGH	MA 01752	91 WINTER ST
68	57			PIERRE JEAN JACQUES	LUCILE PIERRE	97 WINTER ST	MARLBOROUGH	MA 01752	97 WINTER ST
68	58			HEBERT NATHAN		105 WINTER ST	MARLBOROUGH	MA 01752	105 WINTER ST
68	61			NORRIS ADRIENNE F	JOSEPH C LANE	115 WINTER ST	MARLBOROUGH	MA 01752	115 WINTER ST
68	67	A	1	DAVIS CYNTHIA	RENE LEFEVRE	280 ELM ST #A1	MARLBOROUGH	MA 01752	280 ELM ST #A1
68	67	A	2	MARADIAGA RAFAEL		280 ELM ST #A2	MARLBOROUGH	MA 01752	280 ELM ST #A2
68	67	A	3	GELLER BARRY S	LISA M GELLER	280 ELM ST #A3	MARLBOROUGH	MA 01752	280 ELM ST #A3
68	67	A	4	DOWLATABADI ALI		280 ELM ST #A4	MARLBOROUGH	MA 01752	280 ELM ST #A4
68	67	A	5	MERRILL ANNAMAE F TR	MERRILL 280-5 ELM STREET REALTY TRU	66 FERRECCHIA DR	MARLBOROUGH	MA 01752	280 ELM ST #A5
68	67	A	6	SEMERARO JEFFREY A	SANDRA B SEMERARO	280 ELM ST #A6	MARLBOROUGH	MA 01752	280 ELM ST #A6
68	67	A	7	BORGES LUCIANO M		280 ELM ST #A7	MARLBOROUGH	MA 01752	280 ELM ST #A7
68	67	A	8	LANE PATRICIA M		280 ELM ST #A8	MARLBOROUGH	MA 01752	280 ELM ST #A8
68	67	B	1	SCHWEIHOFFER DONALD	RENEE SCHWEIHOFFER	280 ELM ST #B1	MARLBOROUGH	MA 01752	280 ELM ST #B1
68	67	B	2	MAZZARELLA FRANK A		280 ELM ST #B2	MARLBOROUGH	MA 01752	280 ELM ST #B2
68	67	B	3	FERRANTI DAVID S	SUSAN A FERRANTI	280 ELM ST #B3	MARLBOROUGH	MA 01752	280 ELM ST #B3
68	67	B	4	KIM SUNG SIL	MYUNG JAÆE LEE	280 ELM ST #B4	MARLBOROUGH	MA 01752	280 ELM ST #B4
68	67	B	5	VIEIRA LUIZ F JR		280 ELM ST #B5	MARLBOROUGH	MA 01752	280 ELM ST #B5
68	67	B	6	BRENNAN RICHARD J JR	LORI BONNELL	280 ELM ST #B6	MARLBOROUGH	MA 01752	280 ELM ST #B6
68	67	B	7	SILVERMAN LINDA G		280 ELM ST #B7	MARLBOROUGH	MA 01752	280 ELM ST #B7
68	67	B	8	PELLETIER MICHAEL J	KRISTIN A PELLETIER	206 WESTON ST	WALTHAM	MA 02453-1711	280 ELM ST #B8
68	67	B	9	COELHO LUIZ FERNANDO S	ANDREA M COELHO	280 ELM ST #B9	MARLBOROUGH	MA 01752	280 ELM ST #B9
68	67	B	10	BURGESS LAUREN J		280 ELM ST #B10	MARLBOROUGH	MA 01752	280 ELM ST #B10
68	67	C	1	CARPENTER ALBERT J	PATRICIA M CARPENTER	280 ELM ST #C1	MARLBOROUGH	MA 01752	280 ELM ST #C1
68	67	C	2	VASQUEZ ADA		280 ELM ST #C2	MARLBOROUGH	MA 01752	280 ELM ST #C2
68	67	C	3	DUNHAM SUSAN J		280 ELM ST #C3	MARLBOROUGH	MA 01752	280 ELM ST #C3
68	67	C	4	VALERA SHIRLEY A		280 ELM ST #C4	MARLBOROUGH	MA 01752	280 ELM ST #C4
68	67	C	5	KURZMAN STEPHEN A	KORINA Z PELTAK	55 FITZGERALD RD	MARLBOROUGH	MA 01752	280 ELM ST #C5
68	67	C	6	CHAULK KIMBERLY A		280 ELM ST #C6	MARLBOROUGH	MA 01752	280 ELM ST #C6
68	67	C	7	MERRILL ANNAMAE F TR	MERRILL 280-25 ELM STREET REALTY TR	66 FERRECCHIA DR	MARLBOROUGH	MA 01752	280 ELM ST #C7
68	67	C	8	CORNWELL JENNIFER A	JONATHAN M JODOIN	280 ELM ST #C8	MARLBOROUGH	MA 01752	280 ELM ST #C8
68	67	C	9	CHARCHAFJI LAYLA	GEORGE CHARCHAFJI	280 ELM ST #C9	MARLBOROUGH	MA 01752	280 ELM ST #C9
68	67	C	10	BRAVERNICK JULIA		280 ELM ST #C10	MARLBOROUGH	MA 01752	280 ELM ST #C10
68	67	D	1	CLOONAN JAMES R	ROBERT J CLOONAN	PO BOX 1638	FRAMINGHAM	MA 01701	280 ELM ST #D1

**ABUTTERS LISTING for Crabtree Lake Williams (67-45, 68-30A) 400 ft
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner~s Name	Co Owner~s Name	Address	City	ST Zip	Parcel Location
68	67	D	2	DEOLIVEIRA CHARLES		280 ELM ST #D2	MARLBOROUGH	MA 01752	280 ELM ST #D2
68	67	D	3	TIMPONE THOMAS		280 ELM ST #D3	MARLBOROUGH	MA 01752	280 ELM ST #D3
68	67	D	4	PEREZ FILIBERTO		280 ELM ST #D4	MARLBOROUGH	MA 01752	280 ELM ST #D4
68	67	D	5	NEVES JAMILA		280 ELM ST #D5	MARLBOROUGH	MA 01752	280 ELM ST #D5
68	67	D	6	MAGEZI SANYU E		280 ELM ST #D6	MARLBOROUGH	MA 01752	280 ELM ST #D6
68	67	E	1	COX JOHN J		280 ELM ST #E1	MARLBOROUGH	MA 01752	280 ELM ST #E1
68	67	E	2	MERRILL ANNAMAE F TR	MERRILL 280-36 ELM STREET REALTY TR	66 FERRECCCHIA DR	MARLBOROUGH	MA 01752	280 ELM ST #E2
68	67	E	3	MCMAHON PAMELA J		280 ELM ST #E3	MARLBOROUGH	MA 01752	280 ELM ST #E3
68	67	E	4	ALLEN LINDA K		530 GRAFTON ST	SHREWSBURY	MA 01545	280 ELM ST #E4
68	67	E	5	SZABLEWSKI LAURIE R		280 ELM ST #E5	MARLBOROUGH	MA 01752	280 ELM ST #E5
68	67	E	6	HALBERSTADT PETER J JR	ALISON L CALLAHAN	11 VIRGINIA RD	AUBURNDALE	MA 02466-2214	280 ELM ST #E6
68	67	E	7	MORAES NOEMIA S	GUSTAVO SANTOS MORAES FERNANDA S MO	280 ELM ST #E7	MARLBOROUGH	MA 01752	280 ELM ST #E7
68	67	E	8	DIBUONO SUZANNE J		280 ELM ST #E8	MARLBOROUGH	MA 01752	280 ELM ST #E8
68	67	E	9	FOGACA EDMAR L	JOCELI L FOGACA	280 ELM ST #E9	MARLBOROUGH	MA 01752	280 ELM ST #E9
68	21A			DOLAN ROBERT T JR		310 ELM ST	MARLBOROUGH	MA 01752	310 ELM ST
68	30A			CRABTREE LAKE WILLIAMS LLC		PO BOX 377	MARLBOROUGH	MA 01752	BOND ST
68	30B			GRESKA ROBERT A		44 BOND ST	MARLBOROUGH	MA 01752	44 BOND ST
68	32A			RABELO SALLY E	LEONARDO O RABELO	35 BOND ST	MARLBOROUGH	MA 01752	BOND ST
68	56A			MANNING JOHN D TR	83 WINTER STREET REALTY TRUST	83 WINTER ST	MARLBOROUGH	MA 01752	83 WINTER ST
68	62A			FERNANDES ALEX J	ANNAMMA A FERNANDES	143 WINTER ST	MARLBOROUGH	MA 01752	143 WINTER ST
68	62B			SIEMINSKI BETH-ANN		129 WINTER ST	MARLBOROUGH	MA 01752	129 WINTER ST
79	20			CITY OF MARLBOROUGH		140 MAIN ST	MARLBOROUGH	MA 01752	LAKESIDE AVE
79	23			MANFELD HOTEL ENTERPRISES	N/O M F INVESTMENT COMPANY	HOLIDAY INN	MARLBOROUGH	MA 01752	265-A LAKESIDE AVE
80	1			BONANNO A RICHARD TR	EDWARD K DAVIDIAN TR	249 LAKESIDE AVE	MARLBOROUGH	MA 01725	249 LAKESIDE AVE
80	2			CYPHERS KENNETH P	DIANE E CYPHERS	453 HOSMER ST	MARLBOROUGH	MA 01752	231 LAKESIDE AVE
80	6			DLT FAMILY LIMITED PARTNERSHIP		5 FOX HOLLOW LN	SHARON	MA 02067	199 LAKESIDE AVE
80	8			GOSTANIAN WILLIAM H TR	N/O ST MARY THOMAS LLC	KAMAL ARMANIOUS	EAST DOUGLAS	MA 01561	175 LAKESIDE AVE
80	9			MASSACHUSETTS VETERINARY MEDICAL AS		163-165 LAKESIDE AVE	MARLBOROUGH	MA 01752	163-165 LAKESIDE AVE
80	10			EILERS ROXANNE	N/O KENNETH EILERS	20 BOND ST	MARLBOROUGH	MA 01752	20 BOND ST
80	11			MCCARRICK MATTHEW	CHRISTINE M MCCARRICK	617 GREENDALE AVE	NEEDHAM	MA 02492	22 BOND ST
80	12			WEAVER BRIAN R		28 BOND ST	MARLBOROUGH	MA 01752	28 BOND ST
80	13			SULLIVAN RONALD	CAROL ANN SULLIVAN	36 BOND ST	MARLBOROUGH	MA 01752	BOND ST
80	14			ROBY BRIAN K	N/O RICHARD TOMANEK	1 CORTLAND DR	HUDSON	MA 01749	32 BOND ST
80	15			SULLIVAN RONALD	CAROL ANN SULLIVAN	36 BOND ST	MARLBOROUGH	MA 01752	36 BOND ST
80	16			SULLIVAN RONALD	CAROL ANN SULLIVAN	36 BOND ST	MARLBOROUGH	MA 01752	BOND ST
80	17			DUNN JAMES M		29 BOND ST	MARLBOROUGH	MA 01752	29 BOND ST
80	18			TOMANEK RICHARD		1 CORTLAND DR	HUDSON	MA 01749	25 BOND ST
80	19			WATTU DAVID G	JANET R WATTU	15 BOND ST	MARLBOROUGH	MA 01752	15 BOND ST
80	20			MCGILVRAY WILLIAM D	JANET C MCGILVRAY	21 BOND ST	MARLBOROUGH	MA 01752	21 BOND ST
80	21			BRODEUR CLAIRE L		PO BOX 1024	MARLBOROUGH	MA 01752	643 LINCOLN ST
80	9A			SHAW WHITNEY R TR	WRS REALTY TRUST	169 LAKESIDE AVE	MARLBOROUGH	MA 01752	169 LAKESIDE AVE
80	124			CITY OF MARLBOROUGH		140 MAIN ST	MARLBOROUGH	MA 01752	177-185 WILLIAMS ST

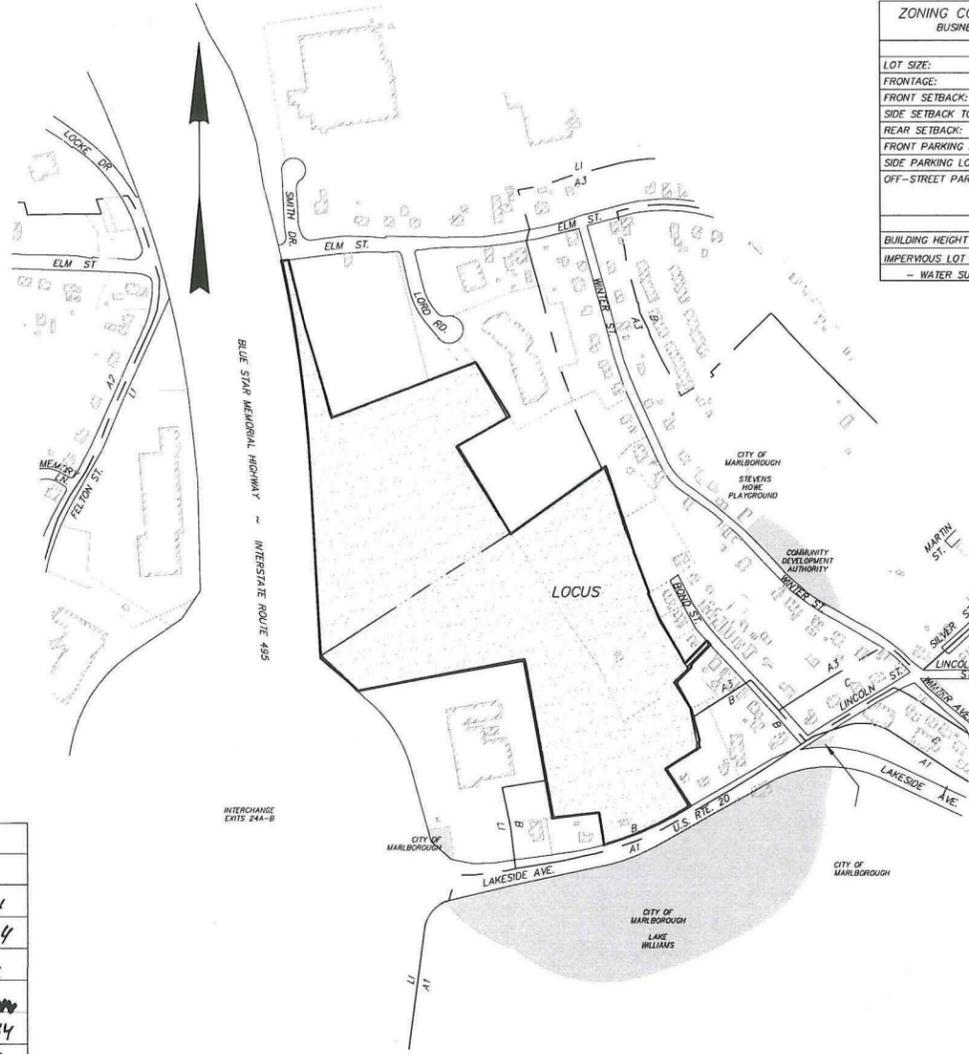
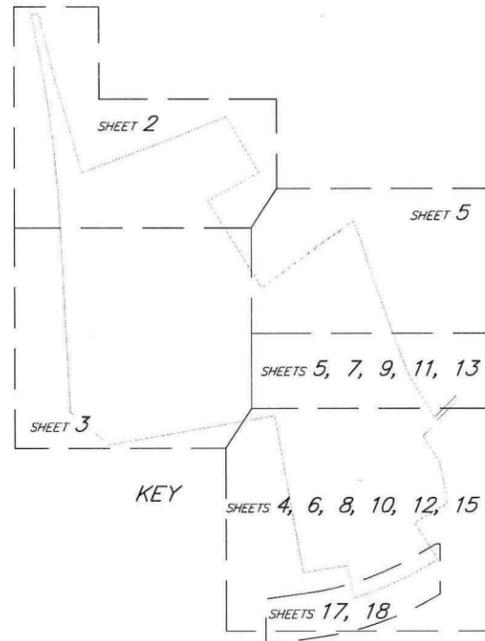
MARLBOROUGH ASSESSORS

Handwritten signatures and initials:
Anthony A. Amore
William J. G. [unclear]
Scott [unclear]

OVERLOOK AT LAKE WILLIAMS

OVERLOOK AT LAKE WILLIAMS

INDEX		
SHEET	DESCRIPTION	LATEST REVISION
		NO. DATE
1	COVER SHEET	3 4/14/2014
2	EXISTING CONDITIONS PLAN	3 4/14/2014
	LEGEND	
3	EXISTING CONDITIONS PLAN	2 1/23/2014
4	EXISTING CONDITIONS PLAN	2 1/23/2014
5	EXISTING CONDITIONS PLAN	2 1/23/2014
6	CONSTRUCTION / LAYOUT PLAN	3 4/14/2014
7	CONSTRUCTION / LAYOUT PLAN	3 4/14/2014
	SURFACING DETAILS	
8	UTILITY AND GRADING PLAN	3 4/14/2014
9	UTILITY AND GRADING PLAN	2 1/23/2014
	STORM WATER & SEWER DETAILS	
10	LANDSCAPE PLAN	3 4/14/2014
11	LANDSCAPE PLAN	2 1/23/2014
	LANDSCAPE DETAILS	
12	EROSION CONTROL PLAN	3 4/14/2014
13	EROSION CONTROL & LIGHTING PLANS	2 1/23/2014
	VORTECHS DETAIL	
14	STORMWATER POLLUTION PREVENTION PLAN	3 4/14/2014
15	LIGHTING PLAN	3 4/14/2014
16	SANITARY SEWER PROFILE	2 1/23/2014
17	TRAFFIC MANAGEMENT PLAN / TRAFFIC	3 4/14/2014
18	TRAFFIC MANAGEMENT PLAN / CONSTRUCTION	3 4/14/2014
19	TRAFFIC MANAGEMENT PLAN / DETAILS	3 4/14/2014
20	TRAFFIC MANAGEMENT PLAN / DETAILS	2 1/23/2014



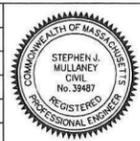
ZONING COMPLIANCE TABLE BUSINESS (B) DISTRICT	REQUIREMENT	60 2-BEDROOM MULTI-FAMILY DWELLING UNITS
	MINIMUM	
LOT SIZE:	5,000-SQ. FT.	31.19-AC.
FRONTAGE:	50-FT.	342.43' (RT. 20)
FRONT SETBACK:	50-FT.	152-FT.
SIDE SETBACK TO RESIDENTIAL:	25-FT.	25-FT.
REAR SETBACK:	NONE	N/A
FRONT PARKING LOT SETBACK:	50-FT.	182-FT.
SIDE PARKING LOT SETBACK:	7-FT.	86.9-FT.
OFF-STREET PARKING SPACES:	1/UNIT + 1/BEDROOM	1/SURFACE + 1/GARAGE + 1/DRIVE = 180
	MAXIMUM	
BUILDING HEIGHT	52-FT.	± 27-FT.
IMPERVIOUS LOT COVERAGE: - RESIDENTIAL	30%	11.06%
- WATER SUPPLY PROTECTION DISTRICT	70%	11.06%

SITE PLAN REVIEW COMMITTEE			
POSITION	NAME	SIGNATURE	DATE
PLANNING DIRECTOR	MICHAEL MENDOZA	<i>[Signature]</i>	2/18/14
BUILDING COMMISSIONER	MICHAEL MENDOZA	<i>[Signature]</i>	2/18/14
FIRE CHIEF	JAMES FORTIN	<i>[Signature]</i>	2-18-14
POLICE CHIEF	MARK F. LEONARD	<i>[Signature]</i>	2/18/14
CONSERVATION OFFICER	PRISCILLA RYDER	<i>[Signature]</i>	2-18-2014
CITY ENGINEER	THOMAS E. RAL GUEZEN, JR., P.E.	<i>[Signature]</i>	2-18-14
HEALTH ADMINISTRATOR	ROBERT LANDRY, R.S.	<i>[Signature]</i>	2/18/2014

SUPPLEMENTAL DETAILS			
SHEET NOS.	TITLE	LATEST REVISION	NO. DATE
PHELAN ENGINEERING - STRUCTURAL & CIVIL CONSULTANTS			
13188-5-1, -5-2, -5-3	RETAINING WALLS	--	12/11/2013
CITY OF MARLBOROUGH - DEPARTMENT OF PUBLIC WORKS - ENGINEERING DIVISION			
1	TRENCH DETAILS	--	8/30/2010
1, 2	WATER DETAILS	--	8/30/2010
1, 2, 3	SEWER DETAILS	--	11/14/2011

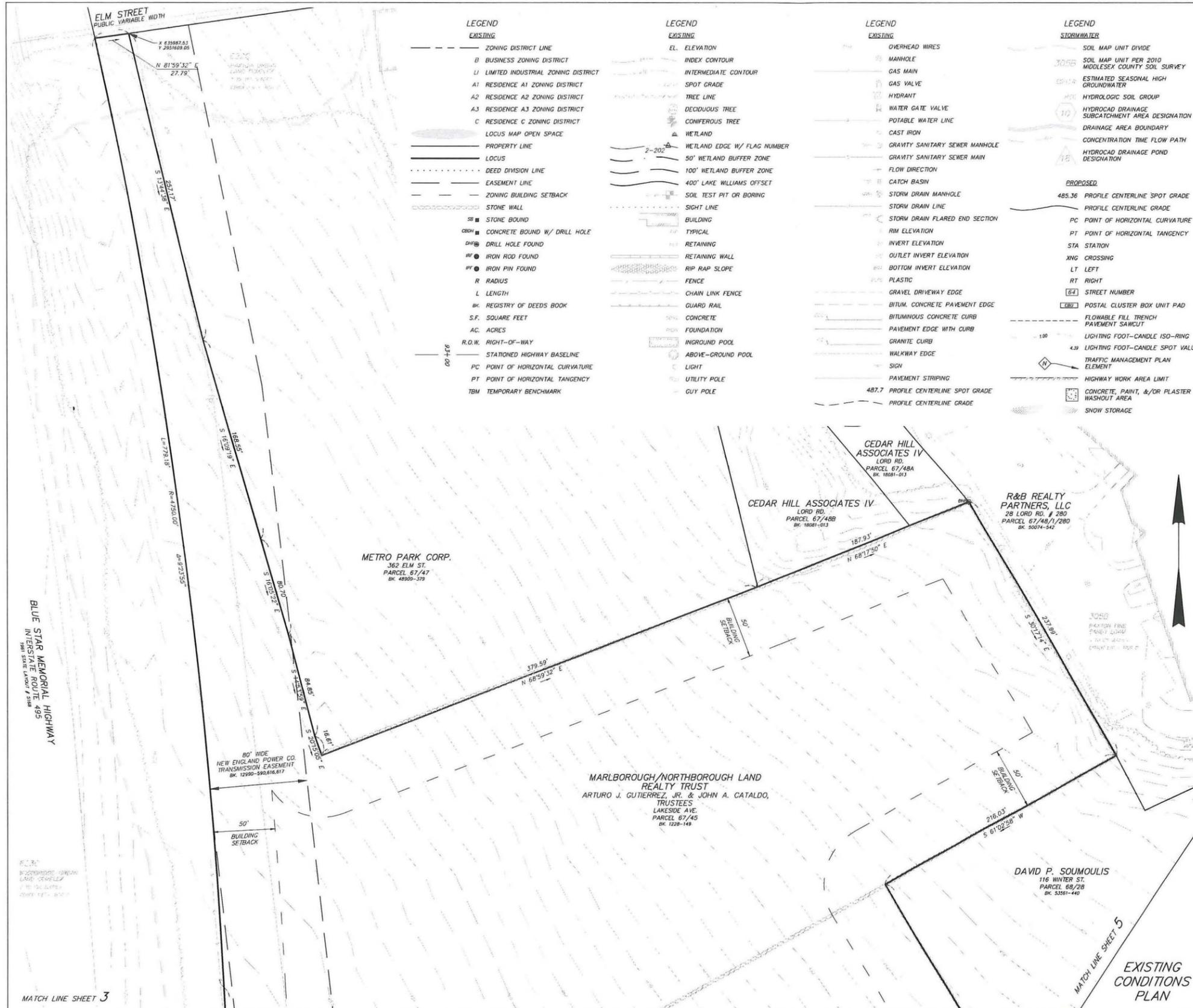
COVER SHEET

SITE PLAN OF LAND IN MARLBOROUGH, MASSACHUSETTS ENTITLED OVERLOOK AT LAKE WILLIAMS	PREPARED FOR APPLICANT CRABTREE LAKE WILLIAMS, LLC P.O. BOX 863 AYER, MA 01432-0863 TEL: 978 772-4281 FAX: 978 772-4341	ARCHITECT: GIATTINO DESIGN 312 CHICOPEE ROW GROTON, MA 01450-1464 TEL: 978 448-2548 EMAIL: MAUREEN@GIATTINODESIGN.COM	REV. DATES; ENDORSEMENT REVISION DATES; SHEET CT. INDEX; KEY; SHEET COUNT ORIGINAL ISSUE REVISION NO. BY DATE ENGINEER
LOCATED ON LAKESIDE AVENUE IDENTIFIED AS ASSESSOR'S PARCELS 67/45 & 68/30A	OWNED BY MARLBOROUGH / NORTHBOROUGH LAND REALTY TRUST ARTURO J. GUTIERREZ, JR. & JOHN A. CATALDO, TRUSTEES 1 WALL ST., SUITE 1, BURLINGTON, MA 01803-4797	STRUCTURAL ENGINEER: PHELAN ENGINEERING 12 SLEIGH RD. CHELMSFORD, MA 01824-4229 TEL: 978 256-4014 FAX: 978 250-3764	LANDSCAPE ARCHITECT: JOHN G. CROWE ASSOCIATES, INC. 50 CROSS ST. WINCHESTER, MA 02478-3037 TEL: 781 756-0001 FAX: 781 756-0007



S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING
 305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET 1 OF 20
 PLAN NO. 136-D-2

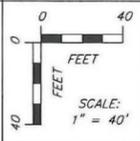


- | | | | | | |
|---|---|---|--|---|--|
| <p>LEGEND
EXISTING</p> <ul style="list-style-type: none"> --- ZONING DISTRICT LINE B BUSINESS ZONING DISTRICT L LIMITED INDUSTRIAL ZONING DISTRICT A1 RESIDENCE A1 ZONING DISTRICT A2 RESIDENCE A2 ZONING DISTRICT A3 RESIDENCE A3 ZONING DISTRICT C RESIDENCE C ZONING DISTRICT LOCUS MAP OPEN SPACE --- PROPERTY LINE --- LOCUS --- DEED DIVISION LINE --- EASEMENT LINE --- ZONING BUILDING SETBACK --- STONE WALL SB ■ STONE BOUND CRBH ■ CONCRETE BOUND W/ DRILL HOLE DHF ● DRILL HOLE FOUND IRF ● IRON ROD FOUND IPF ● IRON PIN FOUND R RADIUS L LENGTH BK REGISTRY OF DEEDS BOOK S.F. SQUARE FEET AC. ACRES R.O.W. RIGHT-OF-WAY --- STATIONED HIGHWAY BASELINE PC POINT OF HORIZONTAL CURVATURE PT POINT OF HORIZONTAL TANGENCY TBM TEMPORARY BENCHMARK | <p>LEGEND
EXISTING</p> <ul style="list-style-type: none"> EL. ELEVATION --- INDEX CONTOUR --- INTERMEDIATE CONTOUR SPOT GRADE --- TREE LINE DECIDUOUS TREE CONIFEROUS TREE WETLAND WETLAND EDGE W/ FLAG NUMBER 50' WETLAND BUFFER ZONE 100' WETLAND BUFFER ZONE 400' LAKE WILLIAMS OFFSET SOIL TEST PIT OR BORING --- SIGHT LINE BUILDING TYPICAL RETAINING RETAINING WALL RIP RAP SLOPE FENCE CHAIN LINK FENCE GUARD RAIL BITUMINOUS CONCRETE CURB CONCRETE FOUNDATION INGROUND POOL ABOVE-GROUND POOL LIGHT UTILITY POLE GUY POLE | <p>LEGEND
EXISTING</p> <ul style="list-style-type: none"> OVERHEAD WIRES MANHOLE GAS MAIN GAS VALVE HYDRANT WATER GATE VALVE POTABLE WATER LINE CAST IRON GRAVITY SANITARY SEWER MANHOLE GRAVITY SANITARY SEWER MAIN FLOW DIRECTION CATCH BASIN STORM DRAIN MANHOLE STORM DRAIN LINE STORM DRAIN FLARED END SECTION RIM ELEVATION INVERT ELEVATION OUTLET INVERT ELEVATION BOTTOM INVERT ELEVATION PLASTIC GRAVEL DRIVEWAY EDGE BITUM. CONCRETE PAVEMENT EDGE BITUMINOUS CONCRETE CURB PAVEMENT EDGE WITH CURB GRANITE CURB WALKWAY EDGE TRAFFIC MANAGEMENT PLAN ELEMENT SIGN PAVEMENT STRIPING 487.7 PROFILE CENTERLINE SPOT GRADE --- PROFILE CENTERLINE GRADE | <p>LEGEND
PROPOSED</p> <ul style="list-style-type: none"> SOIL MAP UNIT DIVIDE SOIL MAP UNIT PER 2010 MIDDLESEX COUNTY SOIL SURVEY ESTIMATED SEASONAL HIGH GROUNDWATER HYDROLOGIC SOIL GROUP HYDROCAD DRAINAGE SUBCATCHMENT AREA DESIGNATION DRAINAGE AREA BOUNDARY CONCENTRATION TIME FLOW PATH HYDROCAD DRAINAGE POND DESIGNATION <p>PROPOSED</p> <ul style="list-style-type: none"> 485.36 PROFILE CENTERLINE SPOT GRADE --- PROFILE CENTERLINE GRADE PC POINT OF HORIZONTAL CURVATURE PT POINT OF HORIZONTAL TANGENCY STA STATION XNG CROSSING LT LEFT RT RIGHT 64 STREET NUMBER 6801 POSTAL CLUSTER BOX UNIT PAD FLOWABLE FILL TRENCH PAVEMENT SAWCUT 1.00 LIGHTING FOOT-CANDLE ISO-RING 4.59 LIGHTING FOOT-CANDLE SPOT VALVE 4.39 HIGHWAY WORK AREA LIMIT CONCRETE, PAINT, &/OR PLASTER WASHOUT AREA SNOW STORAGE | <p>LEGEND
PROPOSED</p> <ul style="list-style-type: none"> PT POINT OF HORIZONTAL TANGENCY --- STATIONED DRIVEWAY CENTERLINE PC POINT OF HORIZONTAL CURVATURE PCC POINT OF COMPOUND CURVATURE --- EASEMENT LINE --- CENTER LINE R35' RADIUS 148 UNIT NUMBER INDEX CONTOUR INTERMEDIATE CONTOUR ODD CONTOUR SPOT GRADE HP HIGH POINT LP LOW POINT 4% PAVEMENT SLOPE 3:1 LANDSCAPED SLOPE DECIDUOUS TREE CONIFEROUS TREE FLOWERING TREE PLANTING BED SHRUB EL. ELEVATION DIAMETER TOP OF CONCRETE FOUNDATION EL. GAR. GARAGE SLAB ELEVATION BASE BASEMENT FLOOR ELEVATION 6,980-SO. FT. 2-STORY, 4-UNIT RESIDENTIAL CONDOMINIUM BUILDING DECK DUMPSTER ON CONCRETE PAD IN SOLID FENCED ENCLOSURE BUS SHELTER CAST-IN-PLACE CONCRETE RETAINING WALL MODULAR BLOCK RETAINING WALL RIP RAP SLOPE 6" SOLID WOOD FENCE 4" CHAIN LINK FENCE 6" BLACK ALUMINUM ORNAMENTAL FENCE GATE GUARD RAIL DRIVEWAY LIGHT CTE SUBSURFACE CABLE, TELEPHONE & ELECTRIC LINES TRANSFORMER & BOLLARDS ON CEMENT CONCRETE PAD GAS LINE HYDRANT WATER GATE VALVE CLDI CEMENT LINED DUCTILE IRON | <p>LEGEND
PROPOSED</p> <ul style="list-style-type: none"> 3/4" TYPE K COPPER INDIVIDUAL WATER SERVICE 6" CLDI FIRE WATER SERVICE CLDI WATER MAIN WATER MAIN BEND & THRUST BLOCK WATER MAIN REDUCER WATER SERVICE SHUT-OFF FREE-STANDING FIRE DEPARTMENT ANNUNCIATOR SHH ● GRAVITY SANITARY SEWER MANHOLE ◎ GRAVITY SANITARY SEWER CLEANOUT ○ GRAVITY SANITARY SEWER LINE ◎ SANITARY SEWER INVERT ELEVATION SPOT GRADE PVC POLYVINYL CHLORIDE PIPE CATCH BASIN DOUBLE GRATED CATCH BASIN STORM DRAIN MANHOLE VORTECHNICS 7000 SEPARATOR STORM DRAIN LINE STORM DRAIN FLARED END SECTION STORM WATER BASIN LIMIT STORM OUTLET CONTROL STRUCTURE WEIR STONE DIKE STONE FILTER DAM ROOF DRAIN WITH OUTLET FOUNDATION DRAIN WITH OUTLET GRAVEL DRIVEWAY EDGE BITUM. CONCRETE PAVEMENT EDGE BITUMINOUS CONCRETE CURB PRECAST CEMENT CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE CURB BITUM. CONCRETE WALKWAY EDGE HANDICAPPED ACCESSIBLE RAMP PARKING COUNT (VAN) ACCESSIBLE PARKING SPACE PAVEMENT STRIPING SIGN EROSION CONTROL BARRIER & DISTURBANCE LIMIT DISTURBANCE LIMIT TEMPORARY CONSTRUCTION ENTRANCE TEMPORARY DEWATERING AREA, SETTLING BASIN OR SWALE STOCKPILE & STAGING AREA BEST MANAGEMENT PRACTICE CONTROL NUMBER 4" ORANGE CONSTRUCTION FENCE 8' HIGH TEMPORARY EXCESS SOIL STOCKPILE AREA |
|---|---|---|--|---|--|

LEGEND	3	SJM	4/14/2014	Stephen J. Mullaney
SHEET COUNT	2	SJM	1/23/2014	
LEGEND; SHEET COUNT	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

DESIGN: MAL
DRAWN: SJM
CHECK: SJM
REF:

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING
305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET 2 OF 20
PLAN NO. 136-D-2

MATCH LINE SHEET 3

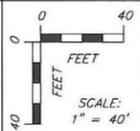


EXISTING CONDITIONS PLAN

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>
SHEET COUNT	2	SJM	1/23/2014	
SHEET COUNT	1	SJM	12/3/2013	
ORIGINAL ISSUE	--	--	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARBOROUGH, MASSACHUSETTS
 ENTITLED
OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
 P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341

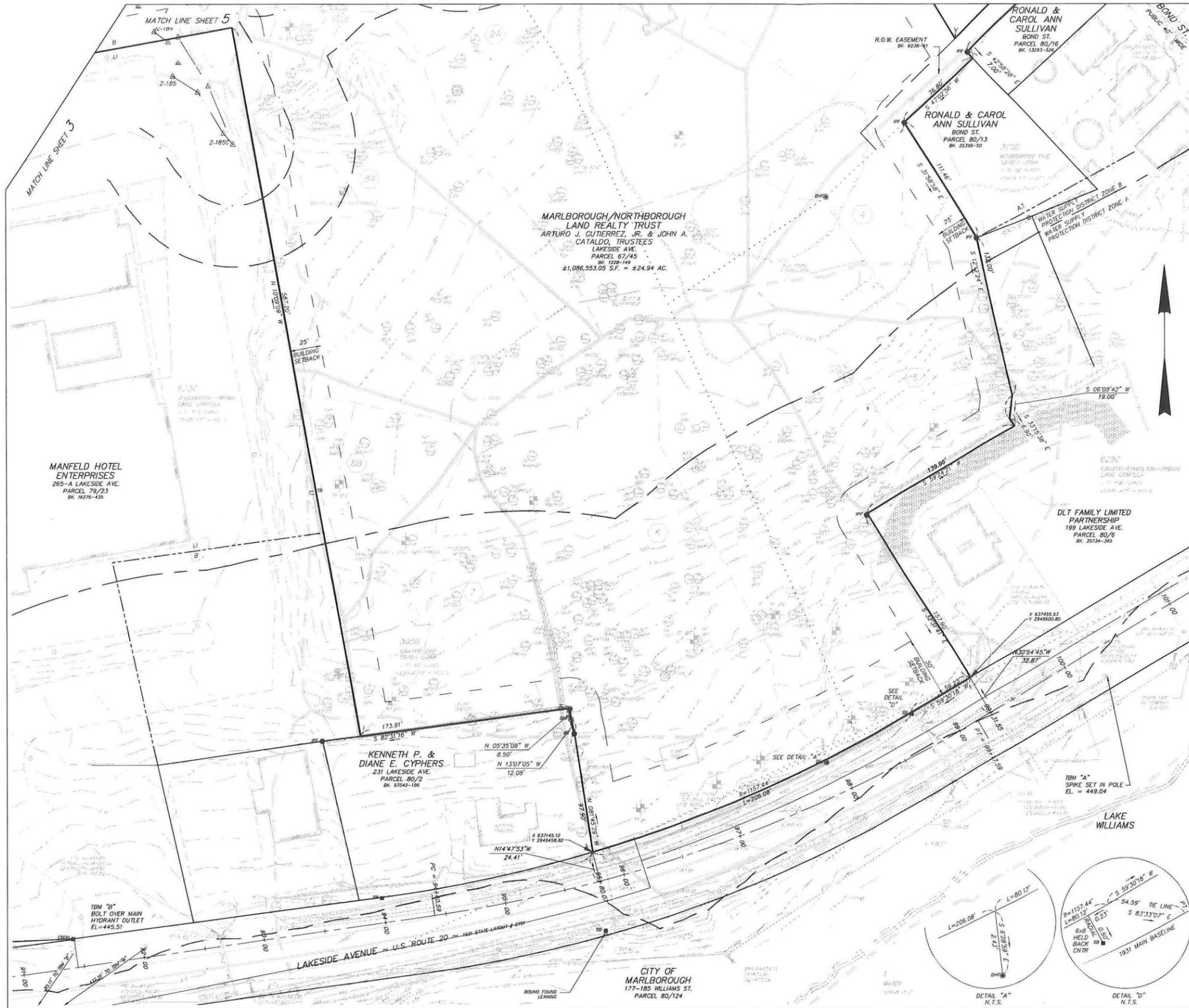
DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING

SHEET 3 OF 20

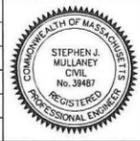
305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

PLAN NO.
136-D-2

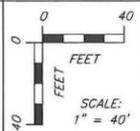


EXISTING CONDITIONS PLAN

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	Stephen J. Mullaney
SHEET COUNT	2	SJM	1/23/2014	
SHEET COUNT	1	SJM	12/3/2013	
ORIGINAL ISSUE	--	--	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS



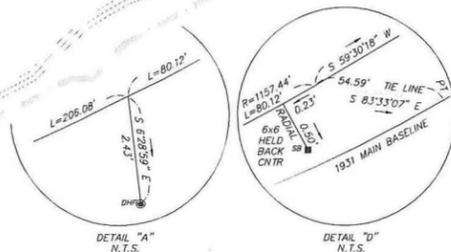
PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

DESIGN:	MAL
DRAWN:	SJM
CHECK:	SJM
REF:	

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET	OF
4	20
PLAN NO.	
136-D-2	





NOTES

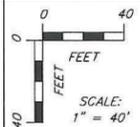
- 1.0. EXISTING SITE CONDITIONS:**
- 1.01. ZONING DISTRICT: BUSINESS (B) DISTRICT & LIMITED INDUSTRIAL.
 - 1.02. LOCUS PROPERTY CONSISTS OF TWO PARCELS. ASSESSORS MAP 67 LOT 45 AND MAP 68 LOT 30A DESCRIBED AS FOLLOWS:
 PARCEL 1: A CERTAIN PARCEL OF LAND SITUATED SOUTH OF ELM STREET NORTH OF LAKESIDE AVENUE, RT. 20 (BOSTON POST ROAD) AND WEST OF BOND STREET IN THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, SHOWN AS LOT 1 ON A PLAN ENTITLED "CORRECTIVE PLAN OF LAND IN MARLBOROUGH MASSACHUSETTS, PREPARED FOR MARLBOROUGH/NORTHBOROUGH LAND REALTY TRUST", PREPARED BY VANASSE HANGEN BRUSTLIN, INC. DATE: JANUARY 24, 2013 RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN NO 159 OF 2013. LOT 1 CONTAINS 7.861 ACRES ACCORDING TO SAID PLAN.
 PARCEL 2: A CERTAIN PARCEL OF LAND SITUATED NORTH OF LAKESIDE AVE., RT 20 (BOSTON POST ROAD) AND SOUTH OF ELM STREET IN THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, SHOWN AS LOT 2 ON A PLAN ENTITLED "PLAN OF LAND IN MARLBOROUGH MASSACHUSETTS, PREPARED FOR METROPOLITAN LIFE INSURANCE COMPANY, PREPARED BY VANASSE HANGEN BRUSTLIN, INC. DATE: NOVEMBER 5, 1999 RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN NO 1346 (3 OF 3) OF 1999 AT PAGE 279. CONTAINING 23.292 ACRES ACCORDING TO SAID PLAN.
 - 1.03. LOCUS DEED: MIDDLESEX SOUTH REGISTRY OF DEEDS, DEED FROM METROPOLITAN LIFE INSURANCE COMPANY DATED OCTOBER 16, 2000 RECORDED IN BOOK 31932 PAGE 445 AS CORRECTED BY A CONFIRMATORY RELEASE DEED FROM METROPOLITAN LIFE INSURANCE COMPANY DATED MARCH 5, 2013, BOOK 61394, PAGE 511.
 - 1.04. THE CITY COUNCIL GRANTED A SPECIAL PERMIT FOR THE LOCUS PARCELS ON JUNE 8, 2009 TO ALLOW THE PROPERTY TO BE USED FOR A 60 UNIT CONDOMINIUM TOWNHOUSE COMMUNITY CONSISTING OF 15 BUILDINGS, RECORDED IN BOOK 53183 PAGE 1.
 - 1.05. TOPOGRAPHY, SITE FEATURES AND LOCUS PROPERTY LINES SHOWN ARE THE RESULT OF ON-THE-GROUND SURVEYS AND AERIAL PHOTOGRAPHY CONDUCTED BY WSP, INC. SEPTEMBER 10 THRU SEPTEMBER 19, 2007 AND APRIL 13, 2013.
 - 1.06. THE HORIZONTAL DATUM SHOWN HEREON IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATES (NAD 83).
 - 1.07. THE VERTICAL DATUM SHOWN HEREON REFERENCES THE NAVD 88.
 - 1.08. EXISTING UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
 - 1.09. THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL 477 OF 656, COMMUNITY PANEL NUMBER 2501700477E, EFFECTIVE DATE: JUNE 4, 2010 AND PANEL 478 OF 656, COMMUNITY PANEL NO. 2501700477E, EFFECTIVE DATE: JUNE 4, 2010.
 - 1.10. THE PROPERTY IS LOCATED IN A WATERSHED PROTECTION DISTRICTS A AND B.
 - 1.11. THE SITE CONTAINS IDENTIFIED AREAS SUBJECT TO THE JURISDICTION OF THE MASSACHUSETTS WETLANDS PROTECTION ACT. AN ORDER OF RESOURCE DELINEATION, (WPA FORM B) WAS ISSUED ON JANUARY 18, 2006, RECORDED IN BOOK 50838 PAGE 273. AN EXTENSION WAS ISSUED DECEMBER 23, 2009, RECORDED IN BOOK 54200 PAGE 301.
 - 1.12. NO PORTION OF THIS SITE CONTAINS ESTIMATED HABITATS OF RARE WILDLIFE, PRIORITY HABITATS OF RARE SPECIES OR CERTIFIED VERNAL POOLS ACCORDING TO THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM'S NATURAL HERITAGE ATLAS, 13TH EDITION.
 - 1.13. NO PORTION OF THIS SITE IS WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN.

EXISTING CONDITIONS PLAN

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>
SHEET COUNT	2	SJM	1/23/2014	
SHEET COUNT	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
 ENTITLED
OVERLOOK AT LAKE WILLIAMS



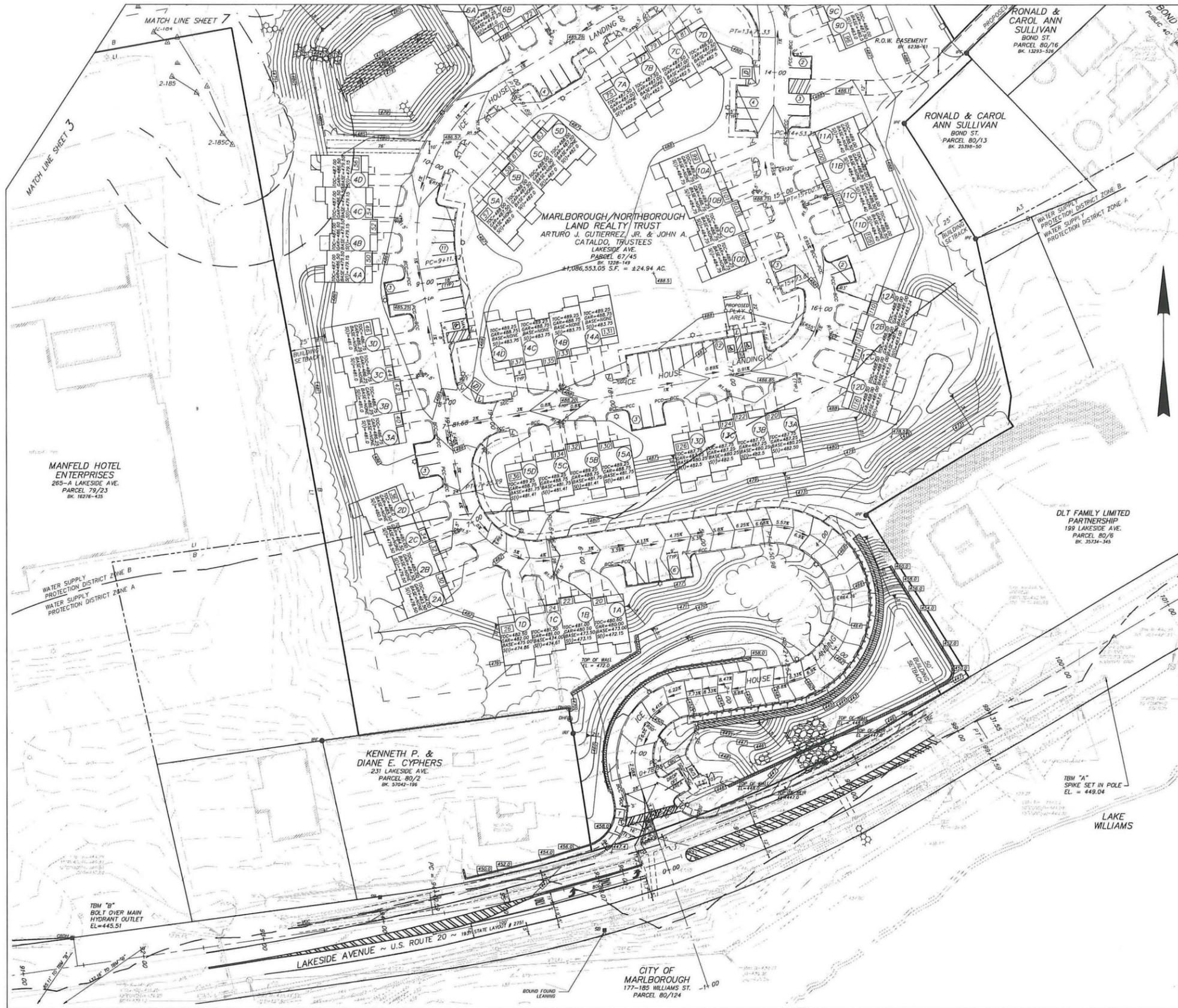
PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
 P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341

DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G-3 - P.O. BOX 752 - LEONISTON, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET 5 OF 20
 PLAN NO. 136-D-2



NOTES

- 2.0 PROPOSED SITE CONDITIONS:**
- 2.01. THE PROPOSED PROJECT IS A RESIDENTIAL DEVELOPMENT CONSISTING OF 60 UNIT CONDOMINIUM TOWNHOUSE COMMUNITY WITH 2 BEDROOMS PER UNIT, 2 STORES PER UNIT, ONE GARAGE PER UNIT AND AN INDIVIDUAL DRIVEWAY PER UNIT. THE PROJECT ALSO CONSISTS OF CONSTRUCTING A MAIN ACCESS DRIVEWAY OFF LAKESIDE AVENUE AND AN EMERGENCY ACCESS DRIVE TO BOND STREET. 60 OFF-STREET PARKING SPACES ARE PROVIDED ALONG THE MAIN ACCESS DRIVEWAY. THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF ALL THE APPURTENANCES NEEDED BY THE DEVELOPMENT (ACCESS, WATER, SEWER, DRAINAGE, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). THE PROJECT ALSO INVOLVES THE ADDITION OF A LEFT HAND TURNING LANE INTO THE PROJECT (ALONG LAKESIDE AVE. EAST) AND IMPROVEMENTS TO THE EXISTING DRAINAGE SYSTEM WITHIN LAKESIDE AVE.
- 2.02. THE PROJECT REQUIRES SITE PLAN APPROVAL PER CITY OF MARLBOROUGH CODE CHAPTER 270, "BUILDING AND SITE DEVELOPMENT," AND IS CATEGORIZED AS A MAJOR RESIDENTIAL PROJECT BY THE SITE PLAN COMMITTEE.
- 2.03. IN ADDITION TO SITE PLAN APPROVAL THE LAND DISTURBANCE PROPOSED HEREIN REQUIRES AN ORDER OF CONDITIONS FROM THE MARLBOROUGH CONSERVATION COMMISSION AND A STATE HIGHWAY ACCESS PERMIT FROM MASSDOT.
- 2.04. A STREET OPENING PERMIT IS REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS. AT LEAST 7 DAYS PRIOR TO ANY CONSTRUCTION REQUIRING THE OPENING OF THE SURFACE OF A CITY STREET, WRITTEN APPLICATION MUST BE MADE TO THE COMMISSIONER OF PUBLIC WORKS AND THE POLICE CHIEF FOR A PERMIT PURSUANT TO THE CITY OF MARLBOROUGH DPW RULES AND REGULATIONS FOR LICENSES AND STREET OPENINGS, REVISED JANUARY 1, 2008. WORK SHALL BE PERMITTED 7:00 AM TO 3:00 PM. SUCH WORK IS PROHIBITED ON SATURDAYS, SUNDAYS, LEGAL HOLIDAYS AND BETWEEN DECEMBER 1 AND MARCH 31. EXCEPT FOR EMERGENCIES, INSURANCE CERTIFICATES AND PERFORMANCE BONDS ARE REQUIRED BEFORE A PERMIT IS ISSUED. THE COMMISSIONER MAY REQUIRE DETAIL POLICE OFFICERS, AT THE PERMITTEE'S EXPENSE, TO MAINTAIN TRAFFIC CONTROLS DURING CONSTRUCTION. PLEASE ALLOW 72 HOURS LEAD TIME FROM THE DATE OF APPLICATION TO THE ISSUANCE OF SAID PERMIT.
- 2.05. THE DEVELOPER SHALL FORM A HOMEOWNERS' ASSOCIATION TO ASSUME RESPONSIBILITY FOR OPERATION AND MAINTENANCE IN PERPETUITY OF THE STORMWATER DETENTION BASINS. THE ASSOCIATION'S DOCUMENTS SHALL RESTATE THE TEXT OF THE DRAINAGE SYSTEM OPERATIONS & MAINTENANCE PLAN AS IT APPEARS HEREIN. THE DOCUMENTS SHALL ALSO REQUIRE THAT THE ASSOCIATION FURNISH AN ANNUAL REPORT OF ITS INSPECTION AND MAINTENANCE ACTIVITIES TO THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS. PRIOR TO THE ISSUANCE OF ANY FINAL OCCUPANCY PERMIT, THE DEVELOPER SHALL SUBMIT TO THE PLANNING BOARD FOR REVIEW AND APPROVAL ALL HOMEOWNER ASSOCIATION DOCUMENTS.
- 2.08. THE MARLBOROUGH FIRE CHIEF SHALL APPROVE THE FINAL PLACEMENT OF FIRE HYDRANTS.
- 2.10. SIGNS AND LIGHTING SHALL CONFORM TO ALL APPLICABLE ZONING SECTIONS AND REQUIREMENTS.
- 2.11. TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," LATEST EDITION.
- 2.12. TRASH SHALL BE COLLECTED WITHIN EACH PROPOSED BUILDING.
- 2.13. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- 2.14. ANY WORK AND MATERIALS WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
- 2.15. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO ARCHITECTURAL ACCESS BOARD REQUIREMENTS.
- 2.16. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. SEE EROSION CONTROL PLAN SHEETS HEREIN.
- 3.0 CONSTRUCTION METHODOLOGIES:**
- 3.01. ALL WORK, MATERIALS AND APPURTENANCES SHALL BE IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS, CITY OF MARLBOROUGH AND INDIVIDUAL UTILITY COMPANY REQUIREMENTS.
- 3.02. ALL UTILITY WORK, MATERIALS AND APPURTENANCES SHALL ALSO BE IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
- 3.03. THE CONTRACTOR SHALL CALL 1-888-DIG-SAFE (1-888-344-7233) AND OBTAIN A DIG SAFE NUMBER A MINIMUM OF 72 HOURS IN ADVANCE OF SURFACE SITE EXPLORATION OR INITIATION OF CONSTRUCTION, AS REQUIRED BY LAW.
- 3.04. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONDITIONS FOUND WHICH PROHIBIT THE PLACEMENT OF UTILITIES AS INDICATED.
- 3.05. CONSTRUCTION ACTIVITIES SHALL NOT RESULT IN THE INTERRUPTION OF UTILITIES OR ACCESS TO ADJACENT SITES.
- 3.06. PRIOR TO THE START OF CONSTRUCTION, THE EXISTING OFF-SITE AREAS AND ADJACENT STREET CONDITIONS (DRAINAGE, PAVEMENT, VEGETATION) SHOULD BE INSPECTED AND THEIR CONDITIONS NOTED AND/OR PHOTOGRAPHED.
- 3.07. CONTRACTOR SHALL SAWCUT THE EDGE OF THE EXISTING PAVEMENT WHEN CONSTRUCTING NEW DRIVEWAY OR ROADWAY CONNECTIONS TO PROVIDE NEAT, VERTICAL JOINTS.
- 3.08. THE CITY OF MARLBOROUGH FIRE CHIEF SHALL BE NOTIFIED OF ALL PROPOSED BLASTING. ALL BLASTING SHALL BE PERFORMED BY A LICENSED BLASTER IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS AND CITY OF MARLBOROUGH REGULATIONS.
- 3.09. OWNER ACCEPTS RESPONSIBILITY FOR WORK AND MATERIALS WITHIN THE SCOPE OF THIS PLAN.
- 3.10. RETAINING WALLS PROPOSED GREATER THAN 4'-FT. IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- 3.11. EXISTING STATE HIGHWAY PAVEMENT MARKINGS RENDERED OBSOLETE BY THE LANE ADJUSTMENTS PROPOSED HEREIN SHALL BE REMOVED IN ACCORDANCE WITH §850.67 OF THE JUNE 15, 2012 MASSDOT HIGHWAY DIVISION SUPPLEMENTAL SPECIFICATIONS TO THE 1988 ENGLISH STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND THE 1998 METRIC STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

CONSTRUCTION / LAYOUT PLAN

ISLAND; DROP; MARKINGS; 3.11	3	SJM	4/14/2014	Stephen J. Mullaney
ST.#S.; RT.20 HATCH; XWALK	2	SJM	1/23/2014	
CITY & MASSDOT COMMENTS	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER

SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS

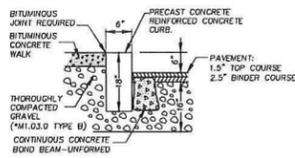
PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

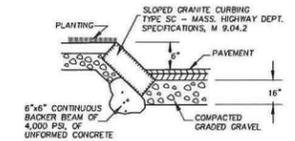
305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEONISTON, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

DESIGN: MAL	SHEET 6	OF 20
DRAWN: SJM		
CHECK: SJM		
REF:		
PLAN NO. 136-D-2		



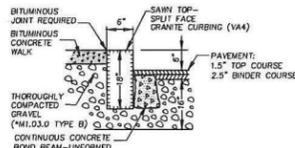
PRECAST CONCRETE CURB

NOT TO SCALE
 *MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



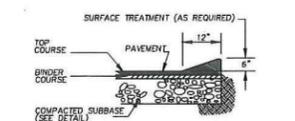
SLOPED GRANITE CURB

NOT TO SCALE



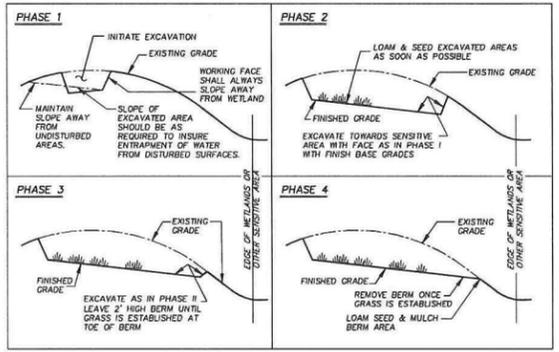
"VERTICAL GRANITE CURB

NOT TO SCALE
 * MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 ** FOR LOCATIONS OUTSIDE STATE HIGHWAY LAYOUT



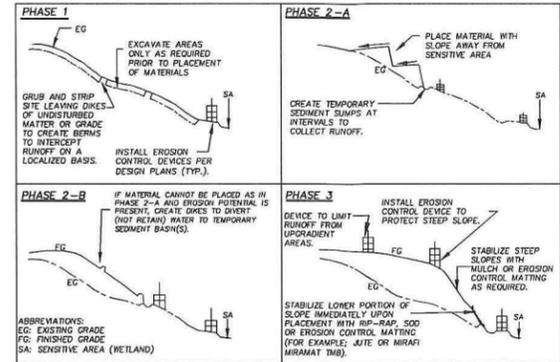
MONOLITHIC CAPE COD BERM

FORMED CONTINUOUSLY WITH WEARING COURSE
 NOT TO SCALE



EXCAVATION SEQUENCE

NOT TO SCALE

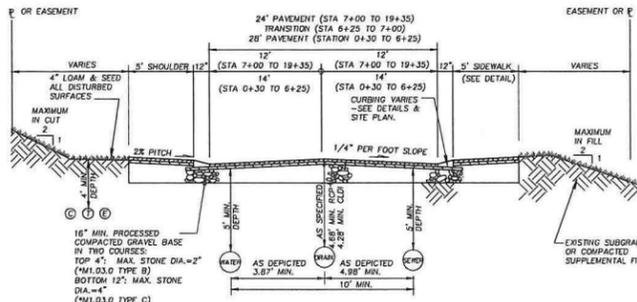


FILL SEQUENCE

NOT TO SCALE

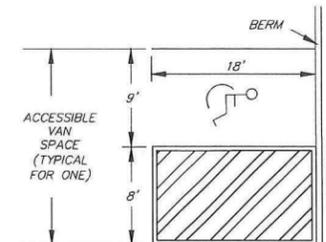
PAVEMENT - MAJOR DRIVEWAY - WEARING COURSE: 1 1/2" BINDER COURSE: 2 1/2"
 ALL PAVEMENT SHALL BE CLASS 1 TYPE 1 BITUMINOUS CONCRETE.

THE TOTAL DEPTH OF GRAVEL ROAD BASE SHALL BE 16". THE BOTTOM 12" SHALL BE SPREAD AND ROLLED TO 85% COMPACTION IN 4" LIFTS AND SHALL CONSIST UNIFORMLY GRADED OF HARD, DURABLE STONE AND COARSE SAND PRACTICALLY FREE FROM LOAM AND CLAY AND CONTAINING NO STONES OVER 4". THE TOP 4" OF GRAVEL SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THERE SHALL BE NO STONES GREATER THAN 2".



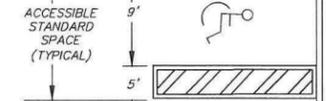
TYPICAL DRIVEWAY CROSS SECTION

NOT TO SCALE
 *MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



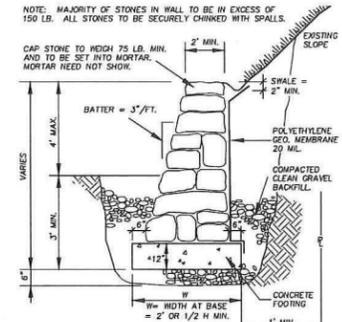
VAN ACCESSIBLE PARKING

NOT TO SCALE



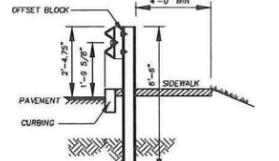
CAR ACCESSIBLE PARKING

NOT TO SCALE



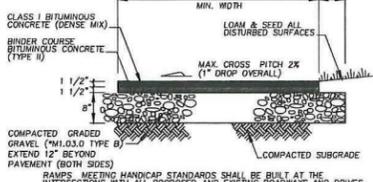
RETAINING WALL

NOT TO SCALE



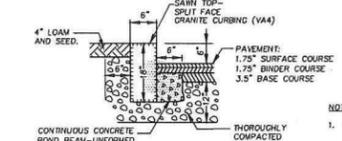
STEEL BEAM GUARDRAIL

NOT TO SCALE



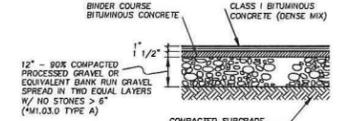
BITUMINOUS CONCRETE SIDEWALK

NOT TO SCALE



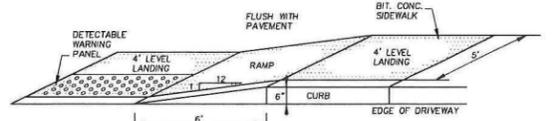
"VERTICAL GRANITE CURB

NOT TO SCALE
 * MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 ** FOR LOCATIONS WITHIN THE STATE HIGHWAY LAYOUT



UNIT BITUMINOUS CONCRETE DRIVE & PARKING

NOT TO SCALE



CURB TRANSITION DETAIL

NOT TO SCALE

- RAMPS MEETING STATE AAS AND FEDERAL ADA HANDICAP STANDARDS SHALL BE BUILT AT THE INTERSECTIONS WITH ALL PROPOSED AND EXISTING ROADWAYS AND DRIVES.
 - DETECTABLE WARNING PANEL SHALL MEET THE SPECIFICATIONS OF MASSDOT CONSTRUCTION STANDARDS DRAWING NO. E 107.6.5P ISSUED MARCH 2012.

SURFACING DETAILS



CONSTRUCTION / LAYOUT PLAN

VERTICAL GRANITE CURB	3	SJM	4/14/2014	Stephen J. Mullaney	
STREET NOS.; ILSF	2	SJM	1/23/2014		
STREET NOS.; SHEET COUNT	1	SJM	12/3/2013		
ORIGINAL ISSUE	---	---	7/15/2013		
REVISION	NO.	BY	DATE	ENGINEER	
SITE PLAN OF LAND IN MARLBOROUGH, MASSACHUSETTS ENTITLED OVERLOOK AT LAKE WILLIAMS					
PREPARED FOR APPLICANT CRABTREE LAKE WILLIAMS, LLC P.O. BOX 863 AYER, MA 01432-0863 TEL: 978 772-4281 FAX: 978 772-4341					
S. J. MULLANEY ENGINEERING, INC. CIVIL SITE DESIGN & PERMITTING 305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com					
					SHEET 7 OF 20 PLAN NO. 136-D-2

UTILITY AND GRADING PLAN



LOCATION	SURFACE EL.	INVERT EL.	L FT.	SLOPE FT./FT.
SMH #20 TO	488.26	483.43	48.83	0.10
SMH #19 TO	488.00	482.46	53.54	0.10
SMH #18 TO	487.42	481.86	60.56	0.10
SMH #17 TO	487.42	481.86	60.56	0.10
SMH #16 TO	487.19	481.80	55.39	0.10
SMH #15 TO	486.70	481.26	55.44	0.10
SMH #14 TO	486.20	480.65	55.55	0.10
SMH #13A TO	485.91	478.65	200.26	0.10
SMH #13B TO	485.91	477.95	70.00	0.10
SMH #12 TO	485.61	477.35	88.26	0.10
SMH #11 TO	485.05	474.90	201.15	0.10
SMH #10 TO	485.05	474.90	201.15	0.10
SMH #9 TO	485.05	474.90	201.15	0.10
SMH #8 TO	485.05	474.90	201.15	0.10
SMH #7 TO	485.05	474.90	201.15	0.10
SMH #6 TO	485.05	474.90	201.15	0.10
SMH #5 TO	485.05	474.90	201.15	0.10
SMH #4 TO	485.05	474.90	201.15	0.10
SMH #3 TO	485.05	474.90	201.15	0.10
SMH #2 TO	485.05	474.90	201.15	0.10
SMH #1 TO	485.05	474.90	201.15	0.10

LOCATION	SURFACE EL.	INVERT EL.	L FT.	Ø IN.	TYPE	SLOPE FT./FT.
CTB #1 TO	486.91	482.91	39.00	16	RCP	0.010
DMH #1 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #2 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #3 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #4 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #5 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #6 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #7 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #8 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #9 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #10 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #11 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #12 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #13 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #14 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #15 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #16 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #17 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #18 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #19 TO	486.95	482.75	44.20	16	RCP	0.010
DMH #20 TO	486.95	482.75	44.20	16	RCP	0.010

LOCATION	DRIVEWAY STATION	RIM EL.	INVERT EL.	L FT.	SLOPE FT./FT.
UNIT 1A TO	5+71, 44' LT TO	472.15	471.00	115	0.010
UNIT 1A TO	4+88.15, 14' LT	474.57	471.00	35.72	0.0125
UNIT 1A TO	4+88.15, 14' LT	474.57	471.00	35.72	0.010
UNIT 2A TO	6+77, 61' LT TO	482.61	482.50	11	0.010
UNIT 2D TO	7+34, 84' LT TO	481.11	481.00	11	0.010
UNIT 2D TO	7+41, 51' LT TO	482.15	481.75	40	0.010
UNIT 3A TO	7+74, 42' LT TO	482.20	481.75	45	0.010
UNIT 3A TO	7+74, 76' LT TO	482.00	481.00	78	0.041
UNIT 3D TO	8+75, 46' LT TO	482.00	481.50	50	0.014
UNIT 3D TO	8+78, 80' LT TO	482.00	481.00	44	0.093
UNIT 4A TO	9+14, 79' LT TO	480.21	480.00	21	0.010
UNIT 4B TO	9+81, 89' LT TO	481.00	481.00	18	0.010
UNIT 5A TO	9+81, 89' LT TO	487.00	486.81	19	0.010
UNIT 5A TO	9+63, 47' RT TO	487.00	486.81	19	0.010
UNIT 5D TO	11+22, 83' RT TO	487.00	486.88	12	0.010
UNIT 6A TO	10+92, 76' LT TO	481.00	480.00	17	0.059
UNIT 6D TO	11+56, 80' LT TO	481.75	481.61	14	0.010
UNIT 7A TO	11+52, 84' RT TO	487.02	486.90	12	0.010
UNIT 8A TO	12+49, 54' LT TO	484.26	484.00	26	0.010
UNIT 8D TO	12+38, 31' LT TO	485.50	485.50	18	0.010
UNIT 6A TO	11+07, 76' LT TO	478.60	478.00	60	0.010
UNIT 7A TO	11+40, 49' RT TO	483.50	483.50	51	0.010
UNIT 8A TO	12+57, 83' LT TO	479.50	479.50	20	0.0075
UNIT 9A TO	13+22, 55' LT TO	487.28	487.00	28	0.010
UNIT 9A TO	13+27, 103' LT	486.38	486.20	18	0.010
UNIT 10A TO	14+56, 93' RT TO	482.80	482.80	11	0.010
UNIT 11A TO	14+34, 66' LT TO	487.94	487.75	19	0.010
UNIT 11D TO	15+68, 48' LT TO	479.50	479.00	16	0.010
UNIT 12A TO	15+94, 84' LT TO	481.00	480.83	17	0.010
UNIT 12D TO	16+42, 62' LT TO	488.00	487.79	21	0.010
UNIT 13B TO	17+05, 32' LT TO	484.12	483.91	21	0.010
UNIT 13D TO	17+01, 12' LT TO	478.00	478.00	39	0.180
UNIT 14A TO	17+86, 82' RT TO	488.44	488.25	19	0.010
UNIT 14D TO	17+74, 97' RT	488.25	488.25	19	0.010
UNIT 15A TO	18+26, 45' RT TO	483.62	483.16	47	0.010
UNIT 15A TO	18+26, 45' RT TO	483.62	483.16	47	0.010
UNIT 15A TO	18+26, 45' RT TO	483.62	483.16	47	0.010
UNIT 15A TO	18+26, 45' RT TO	483.62	483.16	47	0.010
UNIT 15A TO	18+26, 45' RT TO	483.62	483.16	47	0.010

LOCATION	DRIVEWAY STATION	RIM EL.	INVERT EL.	L FT.	SLOPE FT./FT.
UNIT 1A TO	5+71, 78.5' LT TO	472.00	472.00	0	0.000
UNIT 2A TO	6+84, 92' LT TO	480.33	480.00	33	0.010
UNIT 3A TO	8+79, 81' LT TO	482.75	482.75	0	0.000
UNIT 4D TO	9+81, 89' LT TO	478.50	478.50	0	0.000
UNIT 5A TO	9+94, 51' RT TO	486.35	486.00	35	0.010
UNIT 6A TO	10+88, 131' LT	478.00	478.00	0	0.000
UNIT 7A TO	11+40, 49' RT TO	483.50	483.50	0	0.000
UNIT 8A TO	12+57, 83' LT TO	479.50	479.50	0	0.000
UNIT 9A TO	13+22, 55' LT TO	487.28	487.28	0	0.000
UNIT 10A TO	14+56, 93' RT TO	482.80	482.80	0	0.000
UNIT 11A TO	14+34, 66' LT TO	487.94	487.94	0	0.000
UNIT 12A TO	15+94, 84' LT TO	481.00	481.00	0	0.000
UNIT 13D TO	17+01, 12' LT TO	478.00	478.00	0	0.000
UNIT 14A TO	17+86, 82' RT TO	488.44	488.44	0	0.000
UNIT 14D TO	17+74, 97' RT	488.25	488.25	0	0.000
UNIT 15A TO	18+26, 45' RT TO	483.62	483.62	0	0.000
UNIT 15A TO	18+26, 45' RT TO	483.62	483.62	0	0.000
UNIT 15A TO	18+26, 45' RT TO	483.62	483.62	0	0.000
UNIT 15A TO	18+26, 45' RT TO	483.62	483.62	0	0.000

UNIT	L FT.	SLOPE FT./FT.	Ø MAIN	INVERT	UNIT	L FT.	SLOPE FT./FT.	Ø MAIN	INVERT
1A	37	0.010	8"	471.11	BC	41	0.023	8"	480.87
1B	33	0.010	8"	472.15	BA	54	0.012	8"	481.19
1C	44	0.010	8"	473.50	9D	47	0.036	8"	481.93
1D	52	0.010	8"	473.67	9B	34	0.0175	8"	481.47
2A	68	0.054	8"	474.14	9C	40	0.015	8"	481.73
2B	50	0.088	8"	474.42	9D	45	0.011	8"	482.47
2C	40	0.100	8"	474.77	10A	65	0.010	8"	484.10
2D	45	0.103	8"	475.17	10B	61	0.015	8"	483.19
3A	55	0.088	8"	475.48	10C	53	0.020	8"	482.97
3B	33	0.135	8"	475.88	10D	56	0.024	8"	482.71
3C	37	0.111	8"	476.23	11A	33	0.010	8"	483.37
3D	41	0.0937	8"	476.49	11B	29	0.017	8"	483.22
4A	42	0.038	8"	476.86	11C	34	0.029	8"	482.73
4B	33	0.041	8"	477.12	11D	38	0.046	8"	482.63
4C	34	0.030	8"	477.47	12A	46	0.010	8"	482.21
4D	42	0.018	8"	477.72	12B	34	0.010	8"	481.99
5A	63	0.060	8"	477.54	12C	39	0.015	8"	481.74
5B	74	0.048	8"	477.75	12D	58	0.014	8"	481.49
5C	64	0.043	8"	478.55	13A	36	0.011	8"	482.11
5D	63	0.040	8"	478.81	13B	32	0.023	8"	481.08
6A	35	0.040	8"	478.91	13C	35	0.032	8"	480.70
6B	31	0.037	8"	479.17	13D	39	0.035	8"	480.44
6C	35	0.019	8"	479.66	14A	55	0.055	8"	480.01
6D	39	0.013	8"	479.81	14B	51	0.065	8"	479.75
7A	57	0.015	8"	479.62	14C	47	0.078	8"	479.37
7B	53	0.015	8"	479.77	14D	51	0.077	8"	479.11
7C	49	0.015	8"	480.16	15A	35	0.022	8"	479.95
7D	54	0.015	8"	480.42	15B	31	0.033	8"	479.69
8A	50	0.031	8"	480.26	15C	35	0.041	8"	479.31
8B	30	0.035	8"	481.45	15D	39	0.043	8"	479.05

SITE PLAN OF LAND IN
MARBOROUGH, MASSACHUSETTS
 ENTITLED
OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
 P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341

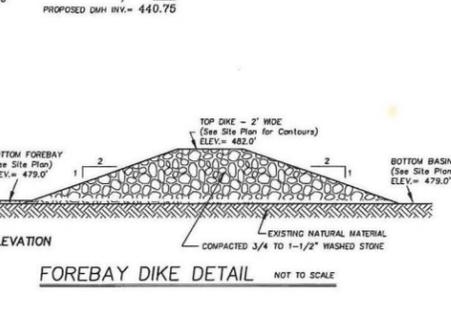
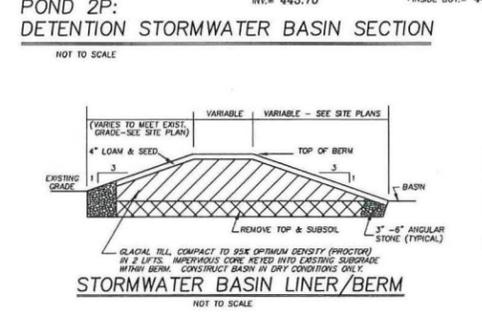
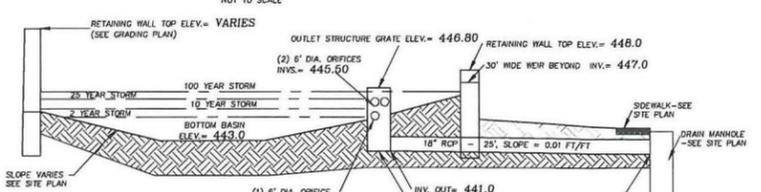
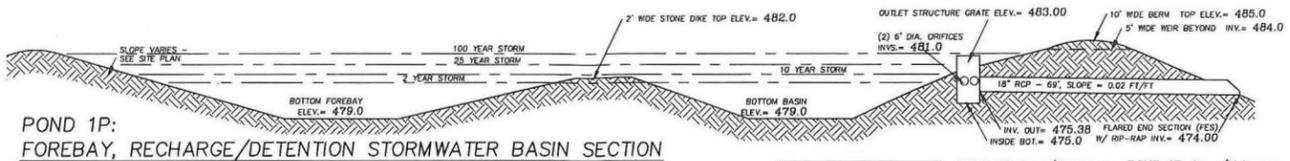
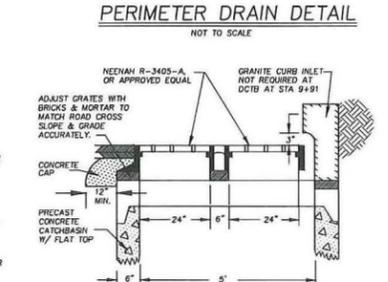
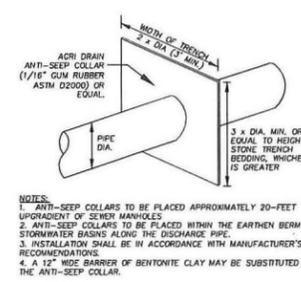
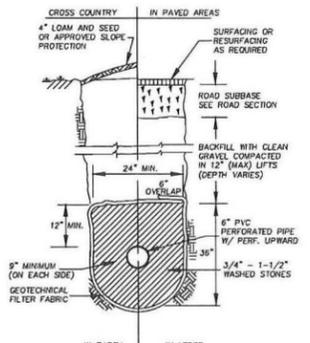
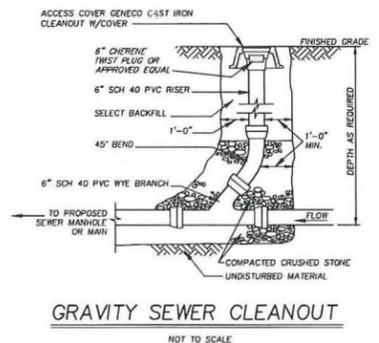
DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

ISLE; 2P OUTLETS; CONTOURS 3 SUM 4/14/2014
 SHEET COUNT; ISLAND 2 SUM 1/23/2014
 CITY & MASSDOT COMMENTS 1 SUM 12/3/2013
 ORIGINAL ISSUE --- 7/15/2013

REVISION NO. BY DATE ENGINEER

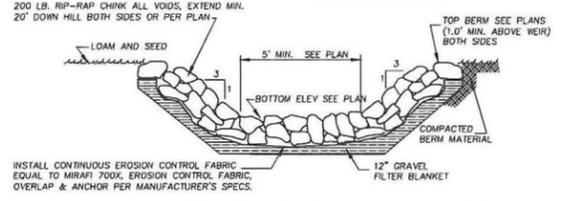
S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING
 305 WHITNEY ST. - SUITE G-3. P.O. BOX 752 - LEOMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaneyc.com

SHEET **8** OF **20**
 PLAN NO. **136-D-2**



200LB. RIP-RAP SPECIFICATIONS:

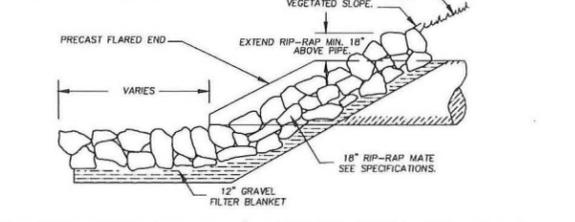
- ALL STONE SHALL BE CLEAN DURABLE ANGULAR STONE MEETING THE FOLLOWING SPECIFICATIONS:
- THE RIP-RAP SHALL BE UNDERLAYED WITH A FILTER BLANKET CONSISTING OF CLEAN, COARSE GRAVEL WITH NO STONES OVER 4" IN LONGEST DIMENSION AND NO FEWER THAN 10% OF TOTAL VOLUME PASSING A 200# SEVE.
- THE FILTER BLANKET NEED NOT BE COMPACTED, BUT SHALL BE GRADED TO A UNIFORM THICKNESS OF 12".
- THE FILTER BLANKET SHALL BE OVERLAPED WITH A STRUCTURAL/EROSION CONTROL FABRIC OF THE TYPE SPECIFIED. SUCH FABRIC SHALL BE CONTINUOUS IN LENGTHS EITHER PARALLEL OR PERPENDICULAR TO THE SLOPE AND MUST BE UNDER ALL RIP-RAPPED SURFACES.



REINFORCED OVERFLOW BROAD-CRESTED WEIR

RIP-RAP SPECIFICATIONS

- THE RIP-RAP SHALL BE COMPRISED OF DURABLE ANGLULAR STONE WHICH MEETS THE FOLLOWING GRADUATION REQUIREMENTS:
- THE RIP-RAP SHALL BE UNDERLAYED WITH A FILTER BLANKET CONSISTING OF CLEAN COURSE GRAVEL WITH NO STONES OVER 3" & FEWER THAN 10% PASSING A #200 SEVE.
- THE FILTER BLANKET NEED NOT BE COMPACTED BUT SHALL BE GRADED TO A MINIMUM THICKNESS OF 12".
- WHEN FLARED END IS NOT IN SWALE, MATTE SHALL EXTEND 24" ON EMBANKMENT AND 24" BEYOND WIDTH OF FLARED END FOR FULL WIDTH.
- IN SWALES, RIP-RAP TO EXTEND 18" ABOVE TOP OF FLARED END FOR LENGTH OF RIP-RAP.



FLARED END INLET / OUTLET WITH RIP-RAP

STORM WATER & SEWER DETAILS

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	Stephen J. Mullaney	
ILSF; RD; FD; TREE LINE	2	SJM	1/23/2014		
SHEET COUNT	1	SJM	12/3/2013		
ORIGINAL ISSUE	---	---	7/15/2013		
REVISION	NO.	BY	DATE	ENGINEER	

SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET **9** OF **20**
PLAN NO.
136-D-2

NOTES

4.0. UTILITIES NOTES:

- 4.01. S. J. MULLANEY ENGINEERING, INC. HAS PERFORMED HYDROLOGIC AND HYDRAULIC CALCULATIONS TO ANALYZE EXISTING AND PROPOSED STORM DRAINAGE CONDITIONS.
- 4.02. ALL PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF EACH STRUCTURE.
- 4.03. ALL STRUCTURES SHALL BE CAPABLE OF AASHTO HS-20 LOADING FOR THE CONDITIONS SHOWN.
- 4.04. THE CONTRACTOR SHALL COORDINATE WITH THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS TO CONFIRM THE LOCATIONS AND SIZES OF LINES FOR TAPPING IN THE NEW WATER AND SEWER SERVICE CONNECTIONS.
- 4.05. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- 4.06. ALL WATER AND SEWER MATERIAL CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS. SEE STREET OPENING PERMIT AND REFER TO THE FOLLOWING ATTACHED DOCUMENTS:
 - 4.06.01. CITY OF MARLBOROUGH DPW, TRENCH DETAILS, 1 SHEET, DATED 8/30/10
 - 4.06.02. CITY OF MARLBOROUGH DPW, WATER DETAILS, 2 SHEETS, DATED 8/30/10
 - 4.06.03. CITY OF MARLBOROUGH DPW, SEWER DETAILS, 3 SHEETS, DATED 11/14/11.
- 4.07. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
- 4.08. CABLE, TELECOMMUNICATION AND ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANIES (COMCAST, VERIZON COMMUNICATIONS AND NATIONAL GRID, RESPECTIVELY). LOCATION AND INSTALLATION SHALL BE SUCH THAT THEY WILL NOT INTERFERE WITH THE OTHER UTILITY SYSTEMS.
- 4.09. EXISTING UTILITY SERVICE CONNECTIONS ENCOUNTERED SHALL BE RESET OR RELOCATED AS NEEDED. ALL ASPECTS OF THIS WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANY OR DEPARTMENT.
- 4.10. EACH UTILITY SHALL HAVE A COLOR CODED TRACER TAPE PLACED 12" ABOVE THE PIPE OR CONDUIT AND NOT CLOSER THAN 12" FROM FINISHED GRADE. THE TAPE SHALL BE RECOVERABLE BY A METAL DETECTOR AND SHALL HAVE PRINTED ON THE TAPE THE TYPE OF UTILITY BURIED BELOW. PLACEMENT OF A 12 GAUGE WIRE ALONG WITH THE TRACER TAPE IS RECOMMENDED TO INCREASE RECOVERABILITY BY A METAL DETECTOR. ALL BACKFILL MATERIAL SHALL HAVE NO STONES GREATER THAN 2" DIAMETER WITHIN 6" OF THE UTILITY.
- 4.11. ANTICIPATED SEWER FLOW PER 314 CIR 7.15 = 60 UNITS X 2 BEDROOMS/UNIT X 110 GALLONS/DAY /BEDROOM = 13,200 GALLONS/DAY.
- 4.12. ANTICIPATED WATER CONSUMPTION = SEWER FLOW X 110% = 14,250 GALLONS/DAY.
- 4.13. WATER AND SEWER UTILITY WORK ON LAKESIDE AVE. SHALL BE PERFORMED AT NIGHT. CONTRACTOR MUST COORDINATE WITH THE MARLBOROUGH D.P.W. WATER & SEWER DIVISION.

NOTES FOR DRAIN MANHOLE

1. CONCRETE TO BE 4,000 PSI @ 28 DAYS.
2. REIN. STEEL TO CONFORM TO LATEST ASTM A185 SPEC. PROVIDE 0.15 SQIN./LINEAL FT AND 0.15 SQIN./LINEAL FOOT (BOTH WAYS) BASE BOTTOM & SLAB TOP.
3. MANUFACTURER TO CERTIFY STRUCTURE TO BE CAPABLE OF AASHTO HS-20-44 LOADING & ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
4. SEAL STRUCTURE WITH BITUMEN OR APPROVED SEALANT. ALL STRUCTURES TO BE WATER-TIGHT IN-PLACE.
5. "THE ELIMINATOR" IS MANUFACTURED BY GROUNDWATER RESOLVE, INC. 24 REDDEN ST. QUINCY, MA 02169; 617-773-1128; WWW.LEANSTREAM.COM
6. 3" DIAMETER REQUIRED ON DOUBLE GRATED FRAMES.

NOTES FOR CATCHBASIN

1. CONCRETE TO BE 4,000 PSI @ 28 DAYS.
2. REIN. STEEL TO CONFORM TO LATEST ASTM A185 SPEC. PROVIDE 0.15 SQIN./LINEAL FT AND 0.15 SQIN./LINEAL FOOT (BOTH WAYS) BASE BOTTOM & SLAB TOP.
3. MANUFACTURER TO CERTIFY STRUCTURE TO BE CAPABLE OF AASHTO HS-20-44 LOADING & ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
4. SEAL STRUCTURE WITH BITUMEN OR APPROVED SEALANT. ALL STRUCTURES TO BE WATER-TIGHT IN-PLACE.
5. "THE ELIMINATOR" IS MANUFACTURED BY GROUNDWATER RESOLVE, INC. 24 REDDEN ST. QUINCY, MA 02169; 617-773-1128; WWW.LEANSTREAM.COM
6. 3" DIAMETER REQUIRED ON DOUBLE GRATED FRAMES.

NOTES FOR FOREBAY LINER

1. GLADIAL TILL, COMPACT TO 95% OPTIMUM DENSITY PROCTOR IN 2 LIFTS. IMPERVIOUS CORE REFER TO EXISTING SUBGRADE WITHIN BERM. CONSTRUCT BERM IN DRY CONDITIONS ONLY.
2. REMOVE TOP & SUBSOIL. 3"-6" ANGULAR STONE (TYPICAL).
3. 6" COMPACTED GRAVEL, 12" MIN. SEE PLAN.
4. 12" GRVEL FILTER BLANKET.
5. 12" GRVEL FILTER BLANKET.

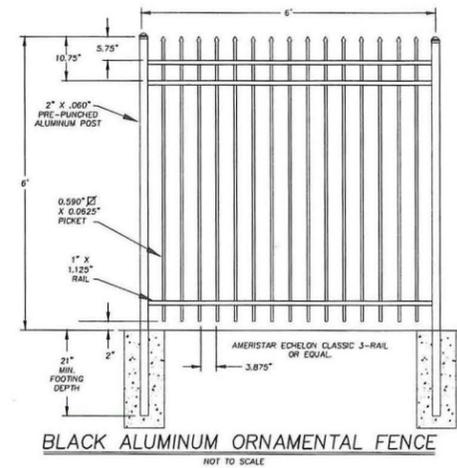
NOTES FOR FOREBAY DIKE

1. TOP DIKE - 2' WIDE (See Site Plan for Contours) ELEV. = 482.0
2. 2' WIDE STONE DIKE TOP ELEV. = 482.0
3. 2' WIDE WEIR BEYOND INV. = 484.0
4. 10' WIDE BERM TOP ELEV. = 485.0
5. 5' WIDE WEIR BEYOND INV. = 484.0



MATCH LINE SHEET 3

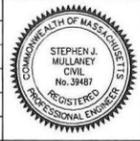
MATCH LINE SHEET 8



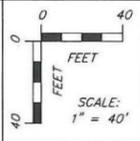
- NOTES**
- 5.0. LANDSCAPING SPECIFICATIONS:**
- 5.01. IMMEDIATELY FOLLOWING PAVING, ALL PROPOSED UNPAVED SURFACES SHALL BE LOAMED AND SEEDED. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 - 5.02. SIDE SLOPES SHALL NOT EXCEED A SLOPE OF TWO-FOOT HORIZONTAL TO ONE-FOOT VERTICAL.
 - 5.03. WHEN PERMANENT STABILIZATION IS NOT IMMEDIATELY POSSIBLE DUE TO THE SEASON, TEMPORARY STABILIZATION SHALL BE PROVIDED USING METHODS SUCH AS TACKLED WOOD CHIPS OR HAY MULCH WEIGHED WITH BRANCHES AND SEEDED WITH A RAPIDLY GERMINATING GRASS SPECIES. HAY USED FOR MULCH MUST BE FREE OF WEED SEED.
 - 5.04. A MINIMUM OF 4" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - 5.05. CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS, WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 - 5.06. FERTILIZER SHOULD BE USED IN THE AMOUNTS PRESCRIBED ON THE BAG. FERTILIZER IS CRITICAL IN ESTABLISHING PROPER VEGETATIVE COVER. HOWEVER, CARE SHOULD BE TAKEN TO PREVENT OVER APPLICATION.
 - 5.07. THE USE OF HERBICIDES IS STRONGLY DISCOURAGED.
 - 5.08. THE CONTRACTOR SHALL DETERMINE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS IN THE FIELD TO ENSURE EQUAL SPACING, FACING AND TO PROVIDE ADJUSTMENTS TO FIELD MODIFICATIONS.
 - 5.09. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUFFICIENT WATER AND/OR IRRIGATION FOR A MINIMUM OF TWO WEEKS FROM THE DATE OF PLANTING OF TREES AND AS REQUIRED TO OBTAIN THE MINIMUM STANDARDS FOR LAWN SURFACE STABILIZATION.
 - 5.10. DIRECT ACCESS TO ALL SUBSURFACE STRUCTURES SHALL NOT BE IMPEDED BY PLANTINGS.

LANDSCAPE PLAN

ISLAND; DROP-OFF	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>
SHEET COUNT; ISLAND	2	SJM	1/23/2014	
CITY & MASSDOT COMMENTS	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
 ENTITLED
OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
 P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341

DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING
 305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET OF
10 20
 PLAN NO.
136-D-2



SITE EROSION CONTROL SEQUENCE	
(A1)	SILT FENCE
(A2)	SILTATION BARRIER
(A3)	ARMORED DIKE
(A4)	CATCH BASIN INLET FILTER
(B1)	LAKESIDE AVE. DRAIN SYSTEM INSTALLATION
(C1)	ARMORED DIKE
(C2)	TEMPORARY CONSTRUCTION ENTRANCE
(C3)	SILT FENCE
(C4)	SILTATION SUMP
(C5)	OUTLET CONTROL STRUCTURE
(D1)	SILT FENCE, STUMP GRINDING OR FILTER SOCK
(D2)	ORANGE CONSTRUCTION FENCE
(D3)	SILTATION BARRIER
(D4)	ARMORED DIKE
(D5)	SILTATION SUMP
(D6)	DIVERSION SWALES
(D7)	DETENTION BASIN BERM CONSTRUCTION
(D8)	FOREBAY DIKE
(D9)	RIP-RAP
(D10)	OUTLET CONTROL STRUCTURE

NOTES:

- CONTRACTOR SHALL CONSTRUCT TEMPORARY DIVERSION SWALES AND SEDIMENT BASINS ON THE INTERIOR OF THE SITE DURING CONSTRUCTION AS REQUIRED.
- CONTRACTOR TO CONTROL DUST DURING ALL PHASES OF CONSTRUCTION.
- ALL SLOPES NOT BEING WORKED ON SHALL BE LOAMED AND SEEDED WITHIN 14 DAYS OF COMPLETION.

TEMPORARY EXCESS SOIL STOCKPILE:
 GROSS TOTAL SITE CUT = ±25,125 CUBIC YARDS
 GROSS TOTAL SITE FILL = ±11,150 CUBIC YARDS
 GROSS NET TOTAL CUT = ±13,975 CUBIC YARDS
 = ±377,325 CUBIC FEET
 = REQUIRED STORAGE
 PROVIDED STORAGE = ±53,200 SQ. FT. AREA
 × ±8 FT. HEIGHT
 = ±425,600 CUBIC FEET
 = ±15,763 CUBIC YARDS

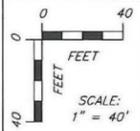
SEQUENCE OF WORK TRIBUTARY TO LAKESIDE AVE.

- ESTABLISH INITIAL EROSION CONTROL MEASURES USING BEST MANAGEMENT PRACTICES
- PERFORM LAKESIDE AVE. DRAINAGE IMPROVEMENTS INCLUDING THE FOLLOWING:
 - ESTABLISH EROSION CONTROL MEASURES.
 - INSTALL NEW STORMCEPTOR.
 - INSTALL NEW DRAIN LINE.
 - RELOCATION WATER MAIN.
 - INSTALL NEW CATCH BASINS.
- PERFORM REQUIRED CLEARING AND GRUBBING OPERATIONS.
- STRIP AND STOCKPILE ANY EXISTING LOAM.
- DRILL AND BLAST LEDGE AS REQUIRED.
- PERFORM EARTH CUTS AND FILLS.
- CONSTRUCT MODULAR BLOCK RETAINING WALLS.
- INSTALL LOAM AND SEED ON ALL SLOPES ALONG DRIVEWAY UP TO STA. 8+00 TO STABILIZE EXPOSED AREAS.

EROSION CONTROL PLAN

ISLAND; DROP-OFF	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>	
SHEET COUNT; ISLAND	2	SJM	1/23/2014		
CITY & MASSDOT COMMENTS	1	SJM	12/3/2013		
ORIGINAL ISSUE	---	---	7/15/2013		
REVISION	NO.	BY	DATE	ENGINEER	

SITE PLAN OF LAND IN
 MARLBOROUGH, MASSACHUSETTS
 ENTITLED
 OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
 CRABTREE LAKE WILLIAMS, LLC
 P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341

DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

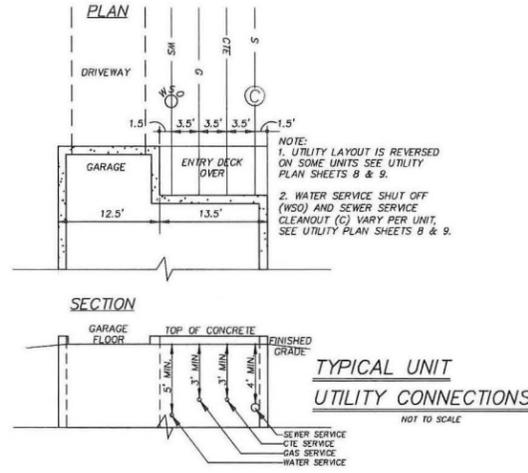
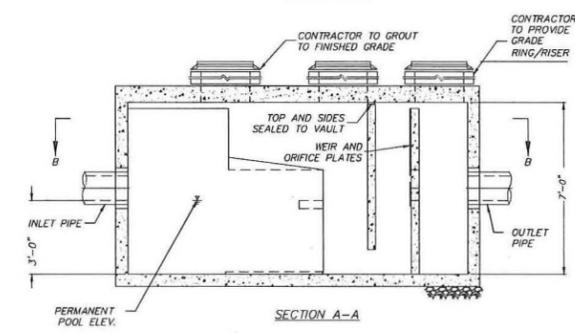
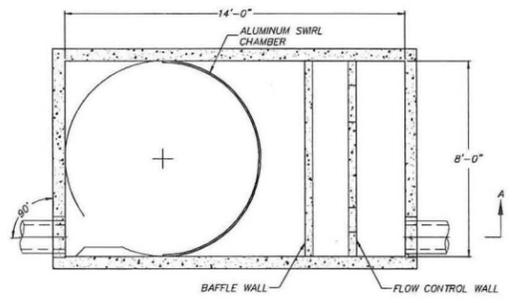
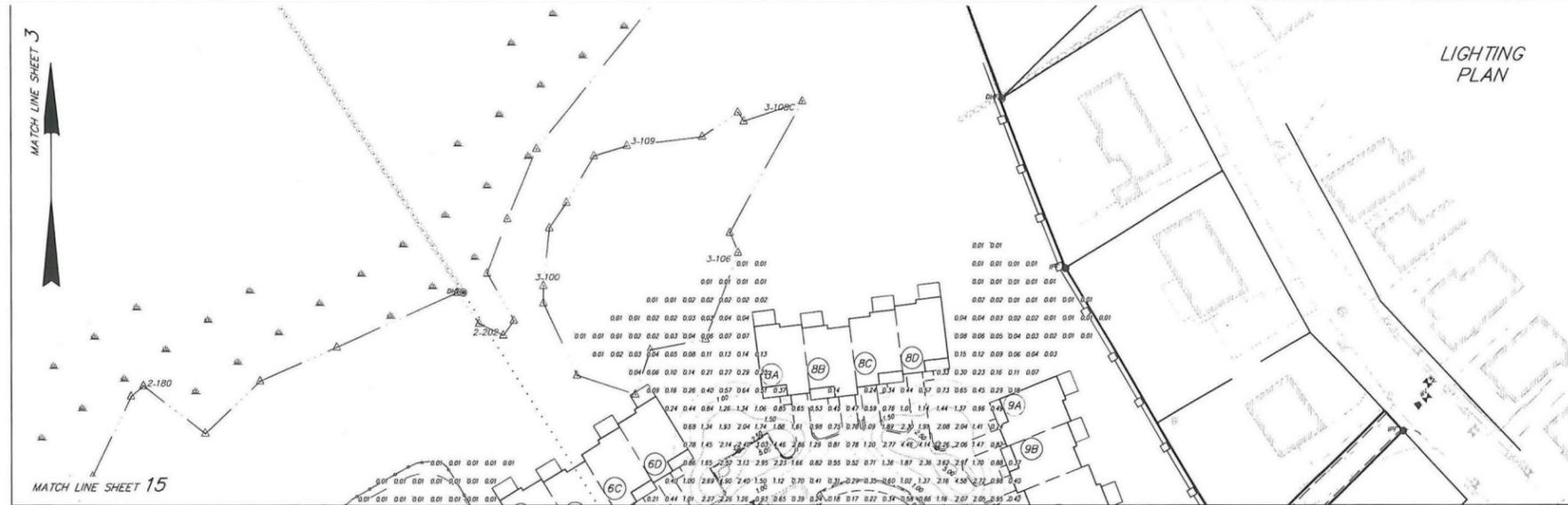
CONSTRUCTION PHASING		
PHASE	AREA	SUBCATCHMENTS
I	2.8 AC.	110, 100, 90, 80, 70, 60, 50, 40, 30, 20, 10, 7, 5
II	2.2 AC.	L, F, E, D, C, BA, 2A, 8B
III	3.1 AC.	A, B, J, H, 3, 2

S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING

SHEET 12 OF 20

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

PLAN NO.
 136-D-2



GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHT, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contechES.com
- VORTECHS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INLET PIPE(S) MUST BE PERPENDICULAR TO THE VAULT AND AT THE CORNER TO INTRODUCE THE FLOW TANGENTIALLY TO THE SWIRL CHAMBER. DUAL INLETS NOT TO HAVE OPPOSING TANGENTIAL FLOW DIRECTIONS.
- OUTLET PIPE(S) MUST BE DOWN STREAM OF THE FLOW CONTROL BAFFLE AND MAY BE LOCATED ON THE SIDE OR END OF THE VAULT. THE FLOW CONTROL WALL MAY BE TURNED TO ACCOMMODATE OUTLET PIPE KNOCKOUTS ON THE SIDE OF THE VAULT.

VORTECHS® MAINTENANCE

THE VORTECHS SYSTEM SHOULD BE INSPECTED AT REGULAR INTERVALS AND MAINTAINED WHEN NECESSARY TO ENSURE OPTIMUM PERFORMANCE. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE HEAVILY ON SITE ACTIVITIES THAN THE SIZE OF THE UNIT. E.G. UNSTABLE SOILS OR HEAVY WINTER SANDING WILL CAUSE THE SWIRL CHAMBER TO FILL MORE QUICKLY BUT REGULAR SWEERING WILL SLOW ACCUMULATION.

INSPECTION

- INSPECTIONS SHOULD BE PERFORMED TWICE PER YEAR (I.E. SPRING AND FALL), HOWEVER MORE FREQUENT INSPECTIONS MAY BE NECESSARY IN EQUIPMENT WASHDOWN AREAS AND IN CLIMATES WHERE WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS.
- IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. A SIMPLE INSPECTION AND MAINTENANCE LOG FORM FOR DOING SO IS AVAILABLE ON CONTECHESFORWATER.COM.
- THE VORTECHS SYSTEM SHOULD BE CLEANED WHEN INSPECTION REVEALS THAT THE SEDIMENT DEPTH HAS ACCUMULATED TO WITHIN 12 TO 18 INCHES (300 TO 450 MM) OF THE DRY-WEATHER WATER SURFACE ELEVATION. THIS DETERMINATION CAN BE MADE BY TAKING TWO MEASUREMENTS WITH A STADIA ROD OR SIMILAR MEASURING DEVICE. ONE MEASUREMENT FROM THE MANHOLE OPENING TO THE TOP OF THE SEDIMENT PILE AND THE OTHER FROM THE MANHOLE OPENING TO THE WATER SURFACE. NOTE: TO AVOID UNDERESTIMATING THE VOLUME OF SEDIMENT IN THE CHAMBER, THE MEASURING DEVICE MUST BE CAREFULLY LOWERED TO THE TOP OF THE SEDIMENT PILE. FINER, SILTY PARTICLES AT THE TOP OF THE PILE TYPICALLY OFFER LESS RESISTANCE TO THE END OF THE ROD THAN LARGER PARTICLES TOWARD THE BOTTOM OF THE PILE.

CLEANING

- CLEANING OF THE VORTECHS SYSTEM SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM.
- CLEANOUT OF THE VORTECHS SYSTEM WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM IF SUCH A TRUCK IS NOT AVAILABLE. A CLAMSHELL GRAB MAY BE USED, BUT IT IS DIFFICULT TO REMOVE ALL ACCUMULATED POLLUTANTS USING A CLAMSHELL.
- IN INSTALLATIONS WHERE THE RISK OF PETROLEUM SPILLS IS SMALL, LIQUID CONTAMINANTS MAY NOT ACCUMULATE AS QUICKLY AS SEDIMENT. HOWEVER, AN OIL OR GASOLINE SPILL SHOULD BE CLEANED OUT IMMEDIATELY.
- WATER OIL AND OTHER HYDROCARBONS THAT ACCUMULATE ON A MORE ROUTINE BASIS SHOULD BE REMOVED WHEN AN APPRECIABLE LAYER HAS BEEN CAPTURED TO REMOVE THESE POLLUTANTS. IT MAY BE PREFERABLE TO USE ADSORBENT PADS TO SOLIDIFY THE OIL SINCE THESE PADS ARE USUALLY MUCH EASIER TO REMOVE FROM THE UNIT INDIVIDUALLY AND LESS EXPENSIVE TO DISPOSE OF THAN THE OIL/WATER EMULSION THAT MAY BE CREATED BY VACUUMING THE OIL LAYER.
- FLOATING TRASH CAN BE NETTED OUT IF YOU WISH TO SEPARATE IT FROM THE OTHER POLLUTANTS.
- CLEANING OF A VORTECHS SYSTEM IS TYPICALLY DONE BY INSERTING A VACUUM HOSE INTO THE SWIRL CHAMBER AND EVACUATING THIS CHAMBER OF WATER AND POLLUTANTS. AS WATER IS EVACUATED, THE WATER LEVEL OUTSIDE OF THE SWIRL CHAMBER WILL DROP TO A LEVEL ROUGHLY EQUAL TO THE CREST OF THE LOWER APERTURE OF THE SWIRL CHAMBER. THE WATER OUTSIDE THE SWIRL CHAMBER SHOULD REMAIN NEAR THIS LEVEL THROUGHOUT PUMPING AS THE BOTTOM AND SIDES OF THE SWIRL CHAMBER ARE SEALED TO THE TANK FLOOR AND WALLS. THIS "WATER LOCK" FEATURE PREVENTS WATER FROM MIGRATING INTO THE SWIRL CHAMBER, EXPOSING THE BOTTOM OF THE BAFFLE WALL AND CREATING EXCESS PUMP-OUT VOLUME. FLOATING POLLUTANTS WILL DECANT INTO THE SWIRL CHAMBER AS THE WATER LEVEL IS DRAWN DOWN. THIS ALLOWS MOST FLOATING MATERIAL TO BE WITHDRAWN FROM THE SAME ACCESS POINT ABOVE THE SWIRL CHAMBER. FLOATING MATERIAL THAT DOES NOT DECANT INTO THE SWIRL CHAMBER DURING DRAW DOWN SHOULD BE SKIMMED FROM THE BAFFLE CHAMBER.

- IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT MAY ACCUMULATE OUTSIDE THE SWIRL CHAMBER. IF THIS IS THE CASE, IT MAY BE NECESSARY TO PUMP OUT OTHER CHAMBERS. IT IS ADVISABLE TO CHECK FOR SEDIMENT ACCUMULATION IN ALL CHAMBERS DURING INSPECTION AND MAINTENANCE.

THESE MAINTENANCE RECOMMENDATIONS APPLY TO ALL VORTECHS SYSTEMS WITH THE FOLLOWING EXCEPTIONS:

- IT IS STRONGLY RECOMMENDED THAT WHEN CLEANING SYSTEMS LARGER THAN THE MODEL 16000 THE BAFFLE CHAMBER BE DRAWN DOWN TO DEPTH OF THREE FEET PRIOR TO BEGINNING CLEAN-OUT OF THE SWIRL CHAMBER. DRAWING DOWN THIS CHAMBER PRIOR TO THE SWIRL CHAMBER REDUCES ADHERENT STRUCTURAL FORCES PUSHING UPSTREAM ON THE SWIRL CHAMBER ONCE THAT CHAMBER IS EMPTY.
- ENTRY INTO A VORTECHS SYSTEM IS GENERALLY NOT REQUIRED AS CLEANING CAN BE DONE FROM THE GROUND SURFACE. HOWEVER, IF MANNED ENTRY INTO A SYSTEM IS REQUIRED, THE CLEANING SYSTEM SHOULD BE EVACUATED OF WATER PRIOR TO ENTRY REGARDLESS OF THE SYSTEM SIZE.
- MANHOLE COVERS SHOULD BE SECURELY SEALED FOLLOWING CLEANING ACTIVITIES TO PREVENT LEAKAGE OF RUNOFF INTO THE SYSTEM FROM ABOVE AND ALSO TO ENSURE PROPER SAFETY PRECAUTIONS.
- IF ANYONE PHYSICALLY ENTERS THE UNIT, CONFINED SPACE ENTRY PROCEDURES NEED TO BE FOLLOWED.

DISPOSAL

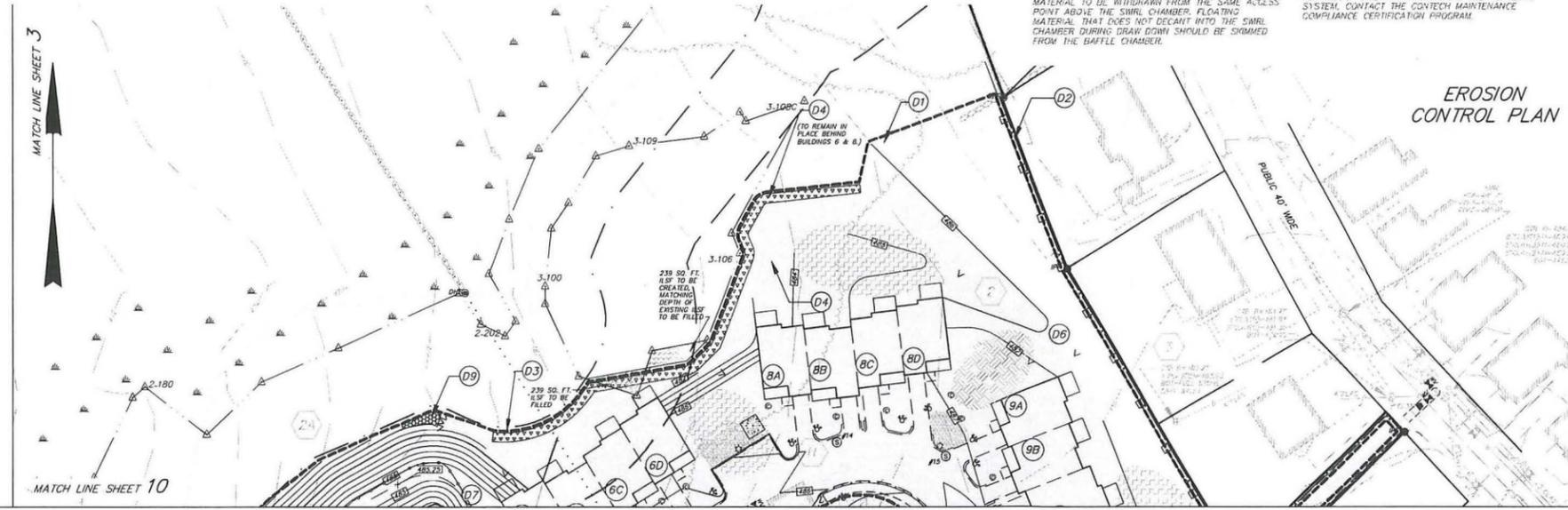
DISPOSAL OF ALL MATERIAL REMOVED FROM THE VORTECHS SYSTEM SHOULD BE DONE IN ACCORDANCE WITH LOCAL REGULATIONS. IN MANY LOCATIONS, DISPOSAL OF EVACUATED SEDIMENTS MAY BE HANDLED IN THE SAME MANNER AS DISPOSAL OF SEDIMENTS REMOVED FROM CATCH BASINS OR DEEP SUMP MANHOLES. CHECK YOUR LOCAL REGULATIONS FOR SPECIFIC REQUIREMENTS ON DISPOSAL.

FOR ASSISTANCE WITH MAINTAINING THE VORTECHS SYSTEM, CONTACT THE CONTECH MAINTENANCE COMPLIANCE CERTIFICATION PROGRAM.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC. DESIGN CONSIDERATIONS SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTECHS STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

EROSION CONTROL PLAN



VORTECHS 7000
 VORTECHS 7000 RATED TREATMENT CAPACITY IS 11 CFS, OR PER LOCAL REGULATIONS. IF THE SITE CONDITIONS EXCEED RATED TREATMENT THE STANDARD INLET/OUTLET CONFIGURATION IS SHOWN. FOR OTHER CONFIGURATION OPTIONS, CONTACT REPRESENTATIVE. WWW.CONTECHES.COM

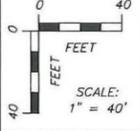
NO REVISIONS THIS SHEET	3	SJM	4/14/2014	Stephen J. Mullaney
DIKE/LSF/RD/EROS.BARRIER	2	SJM	1/23/2014	
CITY & MASSDOT COMMENTS	1	SJM	12/3/2013	
ORIGINAL ISSUE	--	--	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
 ENTITLED
OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

P.O. BOX 863
 AYER, MA 01432-0863
 TEL: 978 772-4281 FAX: 978 772-4341



DESIGN: MAL
 DRAWN: SJM
 CHECK: SJM
 REF:

S. J. MULLANEY ENGINEERING, INC.
 CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEONMINSTER, MA 01453-0752
 TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET 13 OF 20
 PLAN NO. 136-D-2

STORM WATER POLLUTION PREVENTION AND EROSION & SEDIMENTATION CONTROL PLAN

1.0. EROSION CONTROL MEASURES:

1.01. THE CONTRACTOR AND PROPERTY OWNER ARE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS AND ANY CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

1.02. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THE CONTRACTOR SHALL LIMIT THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA TO THE WORK SITE AND DRAINAGE STRUCTURES.

1.03. THE EXISTING SOIL CONDITIONS PROVIDE RUNOFF FROM AREAS WITH EROSION POTENTIAL. THE CONTRACTOR MUST ANTICIPATE HEAVY RUNOFF DURING ANY SPRING CONSTRUCTION OR DURING AND AFTER ANY INCLEMENT WEATHER.

1.04. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN AREAS OF FUTURE CONSTRUCTION. CONSTRUCTION IS PERMITTED BEYOND THE LIMIT OF DISTURBANCE ONLY WHEN ADDITIONAL DRAINAGE MEASURES OR STABILIZATION MEASURES ARE NEEDED AND SHALL BE SUBJECT TO APPROVAL BY THE MARLBOROUGH CONSERVATION COMMISSION PRIOR TO WORK OUTSIDE OF THE DESIGNATED LIMIT OF DISTURBANCE LINE, IF WITHIN THE 100-FT. WETLANDS BUFFER ZONE.

1.05. ALL DISTURBED SURFACES SHALL BE STABILIZED AS SOON AS PRACTICABLE WHERE PORTIONS OF THE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS.

1.06. THE CONTRACTOR SHALL REGULARLY INSPECT, MAINTAIN AND REPAIR ALL EROSION CONTROL DEVICES ON-SITE. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OUTSIDE OF THE 100-FT. WETLANDS BUFFER ZONE.

1.07. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCHBASIN INLETS AND TEMPORARY AREAS, AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

1.08. TEMPORARY DEWATERING AREAS AND/OR SEDIMENT BASINS (DEBRIS BASINS, DE-SILTING BASINS OR SILT TRAPS) SHALL BE INSTALLED AND MAINTAINED WHERE NECESSARY TO REMOVE FROM RUNOFF WATERS ANY SEDIMENT FROM LAND UNDERGOING DEVELOPMENT.

1.09. ADDITIONAL TEMPORARY SETTLING BASINS ARE REQUIRED FOR DRAINAGE AREAS OF TEN (10) OR MORE ACRES OF DISTURBED LAND. THE BASINS SHALL HAVE A MINIMUM CAPACITY OF 3,000 CU. FT. STORAGE FOR EVERY ACRE. DRAINED, MULTIPLE SMALLER BASINS PROVIDING THE SAME CAPACITY SHALL BE USED WHERE LARGE BASINS ARE NOT FEASIBLE. THE EROSION CONTROL SPECIALIST SHALL VERIFY THAT TEMPORARY BASINS ARE ADEQUATELY SIZED.

2.0. GENERAL CONSTRUCTION REQUIREMENTS:

2.01. ANY RETULING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL TAKE PLACE OUTSIDE OF THE 100-FT. BUFFER ZONE TO THE WETLANDS AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS OR DIVERSION SWALES.

2.02. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED IN THE 100- FT. BUFFER ZONE. STUMP DUMPS GREATER THAN 50-CY. REQUIRE A SITE ASSIGNMENT FROM THE MARLBOROUGH BOARD OF HEALTH.

2.03. NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS OR EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE WETLANDS OR DRAINAGE SYSTEMS.

2.04. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.

2.05. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

2.06. SITE OPERATIONS IN THE AREA OF DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER TO MAINTAIN OR CREATE GRADES AND SURFACES WHICH SLOPE AWAY FROM ADJOINING STREETS AND ABUTTING PROPERTIES.

2.07. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADJOINING STREETS AND ABUTTING PROPERTIES ARE KEPT CLEAR OF CONSTRUCTION RELATED DEBRIS. ALL MATERIALS TRACKED ONTO SUCH AREAS SHALL BE PROMPTLY REMOVED.

2.08. THE OWNER/APPLICANT IS RESPONSIBLE FOR IMPLEMENTING THESE CONTROL MEASURES UNLESS AND UNTIL AN OUTSIDE CONTRACTOR IS RETAINED.

3.0. PRE-CONSTRUCTION:

3.01. AN EROSION CONTROL BARRIER (SILT FENCE, HAY BALE DIKE OR SILTATION BARRIER) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT DOWNGRADATION OF SITE ACTIVITY AND ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS SUCH AS WETLANDS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE SITE PLAN ARE THE MINIMUM REQUIRED TO PROTECT THE WETLANDS.

3.02. A TEMPORARY STONE ACCESS AREA SHALL BE ESTABLISHED AT THE ACCESSWAY ENTRANCE TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THIS ACCESS AREA SHALL BE THE SINGULAR ACCESS FOR ALL CONSTRUCTION VEHICLES. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCE SHALL BE LEFT IN PLACE UNTIL THE PERMANENT ACCESSWAY SURFACE IS INSTALLED.

3.03. ONLY THE MINIMUM AREA SHALL BE DISTURBED FOR ALL CONSTRUCTION. ANY SPECIEM TREES TO BE SAVED AND THE EXACT LIMITS OF CLEARING SHOULD BE MARKED IN ADVANCE.

3.04. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA WITHIN THE AREA OF DISTURBANCE, OUTSIDE THE 100-FT. BUFFER ZONE, FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.

3.05. CONSTRUCTION MATERIALS SHALL BE PILED SO AS NOT TO CONCENTRATE RUNOFF.

3.06. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, HAYBALES, SILT FENCE AND CRUSHED STONE.

3.07. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

4.0. PRELIMINARY SITE WORK:

4.01. THE STORMWATER BASINS SHALL BE CONSTRUCTED PRIOR TO ANY ROUGH GRADING ON THE SITE. IT IS RECOMMENDED THAT THE BASINS BE CONSTRUCTED LARGER AND DEEPER THAN REQUIRED ON THE FINAL PLANS TO ALLOW ADDITIONAL CAPACITY FOR SEDIMENTATION DURING CONSTRUCTION. ARMORED DIKES AND SILT FENCES SHALL BE PLACED AT THE OUTLETS TO PROVIDE ADDITIONAL FILTRATION OF RUNOFF.

4.02. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.

4.03. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT, OUTSIDE OF THE 100-FT. WETLANDS BUFFER.

4.04. NO SOIL OR LOAM SHALL LEAVE THE SITE EXCEPT IN ACCORDANCE WITH THE CITY OF MARLBOROUGH CODE - PART II - CHAPTER 534-REMOVAL OF SOIL.

4.05. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAYBALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

5.0. DRAINAGE SYSTEM:

5.01. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. WATER SHALL NOT BE ALLOWED TO ENTER PIPES FROM UNSTABILIZED SURFACES.

5.02. RIP RAP SHALL BE INSTALLED AT THE PIPE INLETS AND OUTLETS IMMEDIATELY UPON THE PLACEMENT OF THE PIPE. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.

5.03. UNTIL TRIBUTARY AREAS ARE STABILIZED, ARMORED DIKES AND/OR FILTERED CATCHBASIN INLETS SHALL COVER THE INLETS TO THE STORMWATER BASIN INLET AND OUTLET STRUCTURES TO MINIMIZE SILTATION IN THE DRAINAGE STRUCTURES. IF INTENSE RAINFALL (SUCH AS A HURRICANE) IS PREDICTED BEFORE ALL TRIBUTARY AREAS ARE STABILIZED, THE ARMORED DIKES SHALL BE REINFORCED FOR THE DURATION OF THE STORM. DOWNSTREAM AREAS SHALL BE INSPECTED AND ANY SEDIMENTS REMOVED AT THE END OF THE STORM.

5.04. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPT DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.

5.05. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS, TO ALLOW UNIMPED FLOW.

5.06. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.

5.07. IMMEDIATELY FOLLOWING PAVING, THE SHOULDERS SHALL BE GRADED, LOADED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS INTO THE DRAINAGE SYSTEM.

5.08. AT THE COMPLETION OF WORK, THE DRAINAGE SYSTEM SHALL BE OPENED AND INSPECTED. ANY FOREIGN MATERIAL PRESENT SHALL BE REMOVED.

6.0. UTILITIES:

6.01. CARE SHALL BE TAKEN TO ASSURE THAT THE UTILITY TRENCHES DO NOT CHANNELIZE RUNOFF TOWARDS ADJOINING STREETS OR OTHER OFF-SITE AREAS.

6.02. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY UTILITY INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE CLOSED TIGHTLY WITH PLYWOOD.

7.0. NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES):

7.01. THIS PLAN IS INTENDED TO MEET THE REQUIREMENTS OF THE NATIONAL STORM WATER POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) OF SECTION 402 OF THE FEDERAL CLEAN WATER ACT. THE CONSTRUCTION OF THE DRIVEWAYS, BUILDING AND APPURTENANCES WILL RESULT IN MORE THAN ONE (1) ACRE (8.1 ACRES = 352,836 SQ. FT.) OF TOTAL DISTURBED AREA, REQUIRING THE SUBMITTAL OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS SITE.

7.02. IT IS ANTICIPATED THAT THE SITE AS DESIGNED WILL MEET THE CRITERIA FOR A NPDES CONSTRUCTION GENERAL PERMIT (CGP). THE SUBMISSION OF THE NPDES NOTICE OF INTENT (NOI) AND THIS PLAN AND SUPPORTING DOCUMENTATION MUST BE POSTMARKED A MINIMUM OF TWO (2) DAYS PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE OR CONSTRUCTION.

7.03. THIS PLAN IS ALSO INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE OWNER AND CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION ON AND OFF-SITE. THIS PLAN IS INTENDED TO ALLOW ANY ORDERS OF CONDITIONS TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF, UPON ISSUANCE OF ORDERS OF CONDITIONS BY PERMITTING AUTHORITIES, ANY ITEMS SPECIFIED HEREIN ARE IN CONFLICT WITH THE ORDERS OF CONDITIONS, SAID ORDERS OF CONDITIONS SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THIS PLAN.

8.0. NPDES RECORD REQUIREMENTS:

8.01. A COPY OF THE NPDES SUBMITTAL AND THIS PLAN MUST BE KEPT ON-SITE IN A WEATHER-PROOF ENCLOSURE AT THE SITE CONSTRUCTION TRAILER OR AT THE CONSTRUCTION ENTRANCE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE MADE AVAILABLE TO ALL INTERESTED PARTIES.

8.02. RECORDS MUST BE MAINTAINED BY THE PERMITEE AT ITS PHYSICAL ADDRESS OF RECORD FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF STABILIZATION OF THE SITE. STABILIZATION OCCURS WHEN THE SITE HAS OVER 70% VEGETATIVE GROWTH AND/OR MECHANICAL STABILIZATION THROUGHOUT. RECORDS SHOULD INCLUDE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES CEASE (TEMPORARILY AND PERMANENTLY) AND WHEN STABILIZATION (TEMPORARY AND PERMANENT) IS INITIATED AND COMPLETED.

9.0. NPDES INSPECTION REQUIREMENTS:

9.01. ALL INSPECTIONS SHALL BE CONDUCTED BY PERSONNEL WHO SHALL PRODUCE SIGNED WRITTEN QUANTITATIVE AND QUALITATIVE REPORTS ON THE METHODS, SUITABILITY OF STRUCTURES AND THE GENERAL CONSTRUCTION. QUALIFIED PERSONNEL INCLUDE CONSULTANTS, ENGINEERS OR CONTRACTORS LICENSED IN SITE DEVELOPMENT RELATED FIELDS. INSPECTORS MUST INCLUDE ALL ITEMS IN PART 3.10.E. AND G. OF THE CGP.

9.02. INSPECTIONS ARE REQUIRED DURING SITE ALTERATIONS A MINIMUM OF ONCE EVERY SEVEN (7) DAYS WHILE SURFACES ARE UNSTABILIZED.

9.03. INSPECTIONS ARE REQUIRED WITHIN 24-HOURS OF STORMS WHICH PRODUCE 0.5" OF PRECIPITATION OR GREATER.

9.04. WHEN THE SITE IS FULLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT MONTHLY INTERVALS FOR A PERIOD OF 3 YEARS.

9.05. IF EXISTING BEST MANAGEMENT PRACTICES (BMPs) NEED MODIFICATION OR ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT IF PRACTICABLE AND THE SWPPP NEEDS TO BE AMENDED TO DOCUMENT CHANGES IN BMPs.

9.06. THE SWPPP AND SITE PLAN MUST BE AMENDED OR MODIFIED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE OR IF BMPs ARE INEFFECTIVE IN MINIMIZING POLLUTANTS IN STORMWATER RUNOFF TO SURFACE WATERS.

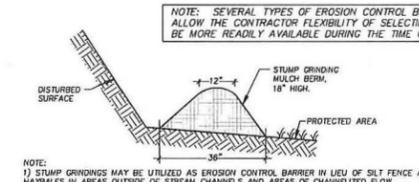
10.0. ILLICIT DISCHARGES:

ILLICIT DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM, I.E., DISCHARGES THAT ARE NOT ENTIRELY COMPRISED OF STORMWATER, ARE PROHIBITED. NOTWITHSTANDING THE FOREGOING, AN ILLICIT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE-FIGHTING, WATER LINE LEAKS, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUND WATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHES, FLOWS FROM REPAIR SHEDS AND WETLANDS, DECHLORINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.

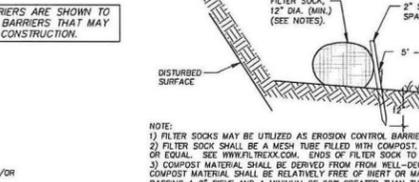
DRAINAGE SYSTEM OPERATIONS & MAINTENANCE PLAN

1.0. STORMWATER COLLECTION SYSTEM:

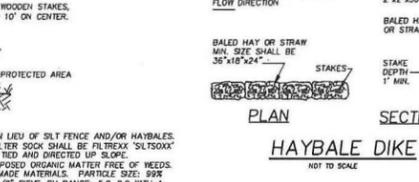
THE STORMWATER COLLECTION SYSTEM SERVING THIS SITE IS INTENDED TO BOTH COLLECT STORMWATER RUNOFF AND TO PROVIDE TREATMENT OF THE STORMWATER PRIOR TO ITS DISCHARGE DOWNGRADATION. THE STORMWATER DRAINAGE SYSTEM COLLECTS RUNOFF GENERATED FROM THE SITE THROUGH THE USE OF CATCHBASINS. EACH CATCHBASIN IS EQUIPPED WITH A FOUR (4) FEET DEEP SUMP TO COLLECT SEDIMENTS AND DEBRIS, AND AN OIL/GAS TRAP TO PREVENT THE INTRUSION OF HYDROCARBONS AND OTHER FLOATING MATERIALS FROM ENTERING THE DRAINAGE SYSTEM. WHEN THESE TWO BASIC CONTROL MECHANISMS ARE FUNCTIONING PROPERLY, THEY PROVIDE FOR A REDUCTION OF CONTAMINANTS AND DEBRIS ENTERING THE STORMWATER RECHARGE SYSTEMS, AND THEREFORE, DOWNSTREAM AREAS.



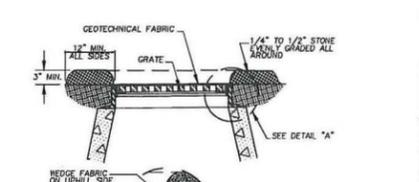
STUMP GRINDING EROSION CONTROL DETAIL



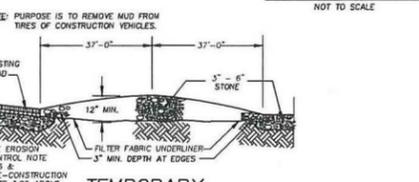
HAYBALE DIKE



FILTER SOCK DETAIL



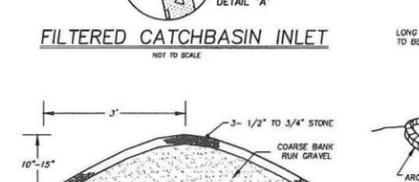
TEMPORARY CONSTRUCTION ENTRANCE



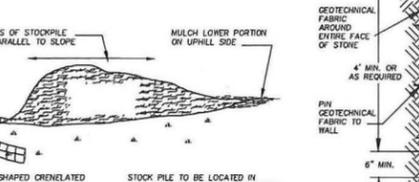
SILTATION BARRIER



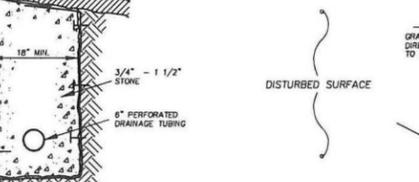
SILT FENCE DETAIL



ARMORED DIKE



TEMPORARY STOCKPILE



INTERCEPTOR DRAIN



TEMPORARY DEWATERING AREA / TEMPORARY SETTLING BASIN

STORM WATER POLLUTION PREVENTION PLAN

CONSTRUCTION ENTRANCE	3	SJM	4/14/2014	Stephen J. Mullaney
SHEET COUNT	2	SJM	1/23/2014	
CITY COMMENTS	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER

STEPHEN J. MULLANEY
REGISTERED PROFESSIONAL ENGINEER
NO. 3987

SITE PLAN OF LAND IN MARLBOROUGH, MASSACHUSETTS ENTITLED OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G-3 - P.O. BOX 752 - LEONMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SCALE: AS NOTED

DESIGN: MAL
DRAWN: SJM
CHECK: SJM
REF:

SHEET 14 OF 20
PLAN NO. 136-D-2



CALCULATION SUMMARY								
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	DESCRIPTION
LIGHT SPILL	ILLUMINANCE	FOOTCANDLE	0.22	5.76	0.00	N.A.	N.A.	AT GRADE
ROADWAY	ILLUMINANCE	FOOTCANDLE	1.13	5.76	0.03	37.67	192.00	AT GRADE

LUMINAIRE SCHEDULE							
QTY	LABEL	ARRANGEMENT	LUMENS	WATTS	LLF	BUG RATING	DESCRIPTION
18	TF3-15H3WKS	SINGLE	13000	150	1.000	B3-U3-G3	TF3, TOP MOUNT, TYPE 3 OPTICS, 150 W MH, 187/2410 ARM, P2060-14" POLE

- NOTES:
- FOOTCANDLE RESULTS SHOWN ON THIS LIGHTING DESIGN ARE BASED ON PROJECT SPECIFICATIONS PROVIDED TO HADCO LIGHTING.
 - ACTUAL CONDITIONS DIFFERING FROM THESE DESIGN PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE LIGHTING CODES.

100 CRAFTWAY P.O. BOX 1208 LITTLETON, PA 17340 TEL: 717 359-7131 FAX: 717 359-9515 WWW.HADCO.COM	DATE:	PROJECT ID#	REV:	ISSUED BY:	PROGRAM:
	8/21/2013	130814-21-80	B	PMO	AGI32-V2.04 REV01
	CONTACT:				
	ROBERT STACEY - HURRY ASSOCIATES - 339 200-8377				
	PHILIPS HADCO				

LIGHTING PLAN

ISLAND; DROP-OFF	3	SUM	4/14/2014	Stephen J. Mullaney	
SHEET COUNT; ISLAND	2	SUM	1/23/2014		
SHEET ADDED PER COMMENT	1	SUM	12/3/2013		
ORIGINAL ISSUE	---	---	7/15/2013		
REVISION	NO.	BY	DATE	ENGINEER	

SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

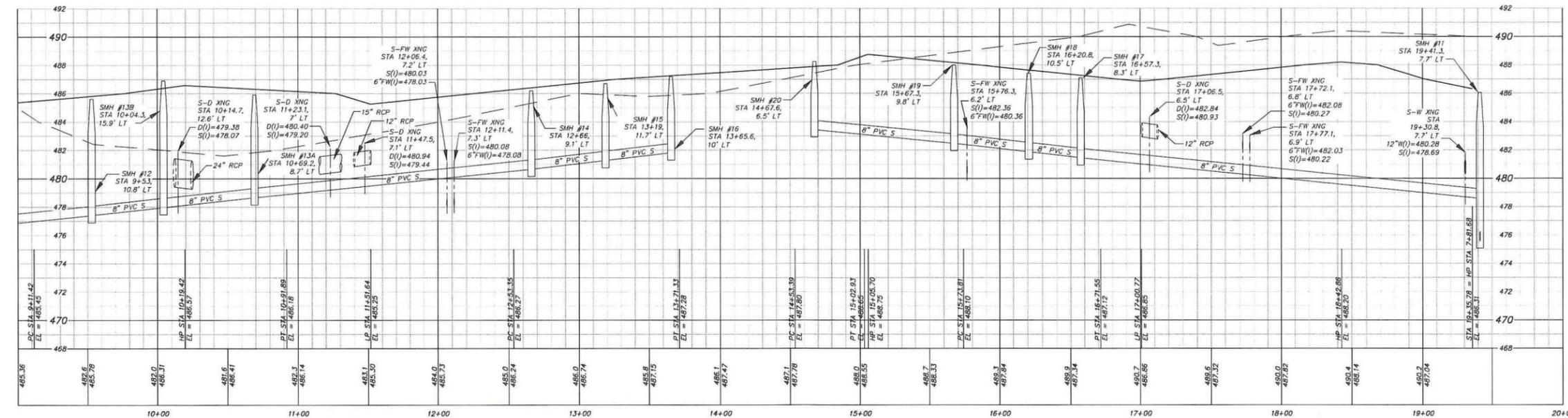
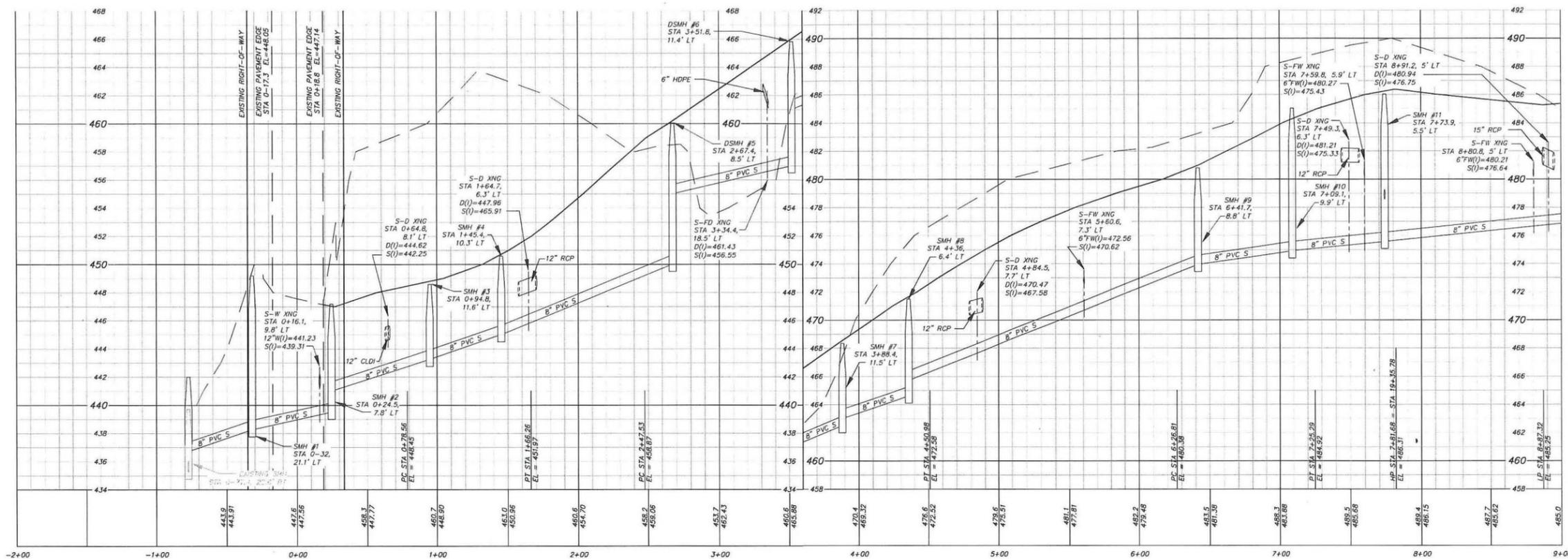
P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

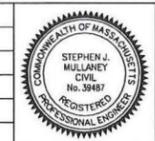
SCALE:
1" = 40'

SHEET	OF
15	20
PLAN NO.	
136-D-2	

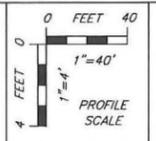


SANITARY
SEWER
PROFILE

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>
SHEET COUNT	2	SJM	1/23/2014	
SHEET ADDED PER COMMENT	1	SJM	12/3/2013	
ORIGINAL ISSUE	---	---	7/15/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

DESIGN:	MAL
DRAWN:	SJM
CHECK:	SJM
REF:	

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING
305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET	OF
16	20
PLAN NO.	
136-D-2	

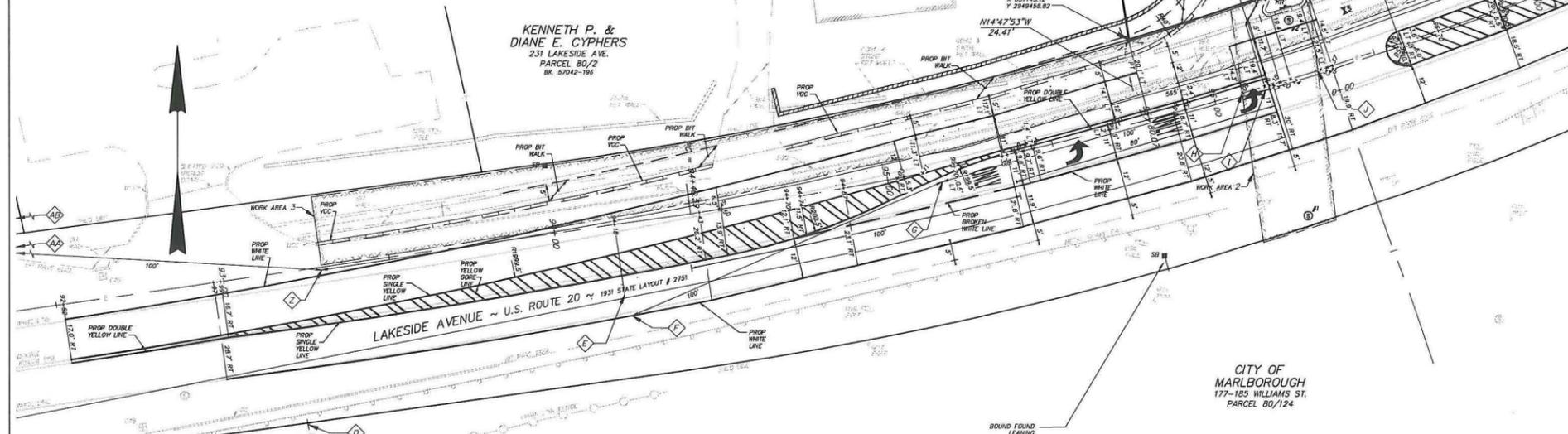
TRAFFIC MANAGEMENT PLAN					
STATION	ELEMENT	WORK AREA	DESCRIPTION	CODE	LOCATION
83+60 RT	A	1, 2, 3	"ROAD WORK AHEAD" SIGN	MUTCD W20-1	MIN. 350 FT. PRIOR TO ELEMENT B
87+10 RT	B	1, 2	"ONE LANE ROAD AHEAD" SIGN	MUTCD W20-4	MIN. 350 FT. PRIOR TO ELEMENT C
90+59 RT	C	1, 2	"POLICE OFFICER AHEAD" SIGN	MUTCD W20-8	MIN. 350 FT. PRIOR TO ELEMENT F
93+19 RT	D	1, 2, 3	"DOUBLE SPEEDING FINES IN WORK ZONE" SIGN	MHD R2-10, 36"x36"	MIN. 100 FT. PRIOR TO ELEMENT G
94+18 RT	E	1, 2	POLICE OFFICER 1; BEGIN ONE LANE ALTERNATING TRAFFIC	MHD TLR-5	
94+19 RT	F	1, 2	BEGIN MERGING TAPER WITH CONES		CONTINUE FOR 100 FT. TO ELEMENT G
95+16 RT	G	1, 2	BEGIN BUFFER ZONE		CONTINUE FOR 100 FT. TO ELEMENT I
		1, 2	BEGIN ROADWAY CENTERLINE CONES		CONTINUE FOR 325 FT. TO ELEMENT H
96+09 CL	H	2	BEGIN WORK AREA		CONTINUE FOR 23 FT. TO ELEMENT J
96+16 RT	I	1, 2	END BUFFER ZONE		
96+32 CL	J	2	END WORK AREA		
97+85 CL	K	1	BEGIN WORK AREA		CONTINUE FOR 10 FT. TO ELEMENT M
97+90 CL	L	1, 2	BEGIN BUFFER ZONE		CONTINUE FOR 50 FT. TO ELEMENT N
97+95 CL	M	1	END WORK AREA		
98+40 CL	N	1, 2	BEGIN MERGING TAPER WITH CONES		CONTINUE FOR 50 FT. TO ELEMENT P
98+87 LT	O	1, 2	POLICE OFFICER 2; END ONE LANE ALTERNATING TRAFFIC		
98+88 RT	P	1, 2	END CONE TAPER		
103+97 RT	Q	1, 2, 3	"END ROAD WORK" SIGN	MUTCD G20-2	MIN. 500 FT. BEYOND ELEMENT P

TRAFFIC MANAGEMENT PLAN					
STATION	ELEMENT	WORK AREA	DESCRIPTION	CODE	LOCATION
109+36 LT	R	1, 2, 3	"ROAD WORK AHEAD" SIGN	MUTCD W20-1	MIN. 350 FT. PRIOR TO ELEMENT S
105+86 LT	S	1, 2	"ONE LANE ROAD AHEAD" SIGN	MUTCD W20-4	MIN. 350 FT. PRIOR TO ELEMENT U
		3	"ROAD NARROWS" SIGN	MUTCD W5-1	MIN. 100 FT. PRIOR TO ELEMENT T
103+17 LT	T	1, 2, 3	"DOUBLE SPEEDING FINES IN WORK ZONE" SIGN	MHD R2-10, 36"x36"	MIN. 100 FT. PRIOR TO ELEMENT V
102+36 LT	U	1, 2	"POLICE OFFICER AHEAD" SIGN	MUTCD W20-8	MIN. 350 FT. PRIOR TO ELEMENT P
		3	"RIGHT SHOULDER CLOSED" SIGN	MUTCD W21-5A	
102+17 LT	V	3	BEGIN MERGING TAPER WITH CONES		CONTINUE FOR 70 FT. TO ELEMENT W
101+48 LT	W	3	BEGIN BUFFER ZONE WITH CONES; PROVIDING BREAK AT DUNKIN' DONUTS DRIVEWAY		CONTINUE FOR 250 FT. TO ELEMENT X
98+98 LT	X	3	BEGIN WORK AREA WITH CONES ALONG EDGE; PROVIDING BREAK AT EXISTING DRIVEWAY	MHD TLR-1	CONTINUE FOR 565 FT. TO ELEMENT Z
98+90 LT	Y	3	BEGIN SAW CUT		CONTINUE FOR 560 FT. TO ELEMENT Z
93+30 LT	Z	3	BEGIN MERGING TAPER WITH CONES; PROVIDING BREAKS AT EXISTING DRIVEWAYS		CONTINUE FOR 100 FT. TO ELEMENT AA
92+32 LT	AA	3	END CONE TAPER		
87+32 LT	AB	1, 2, 3	"END ROAD WORK" SIGN	MUTCD G20-2	MIN. 500 FT. BEYOND ELEMENT AA

TRAFFIC MANAGEMENT PLAN NOTES
(REF: MASSDOT FIGURE GEN-1):

- ALL TEMPORARY TRAFFIC CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS.
- ALL SIGNS, LEGENDS, BORDERS AND MOUNTING SHALL BE IN ACCORDANCE WITH MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, AND REFLECTORIZED PLASTIC DRUMS WITH LIGHTING DEVICES MOUNTED ON THEM, MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES."
- CONTRACTOR SHALL NOTIFY EACH ADJUTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT AND SIMILAR OPERATIONS.

- LEGEND**
PROPOSED SIGNS
- STOP
 - KEEP RIGHT
 - NO LEFT TURN



TRAFFIC MANAGEMENT PLAN / TRAFFIC

REVISION	NO.	BY	DATE	ENGINEER
ISLE; 2P OUTLETS; MARKINGS	3	SJM	4/14/2014	Stephen J. Mullaney
CONSTRUCTION REMOVED	2	SJM	1/23/2014	
SHEET ADDED PER COMMENT	1	SJM	12/3/2013	
ORIGINAL ISSUE	--	--	7/15/2013	

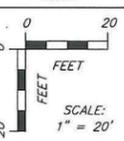


SITE PLAN OF LAND IN MARLBOROUGH, MASSACHUSETTS ENTITLED OVERLOOK AT LAKE WILLIAMS

PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC
P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEOMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com



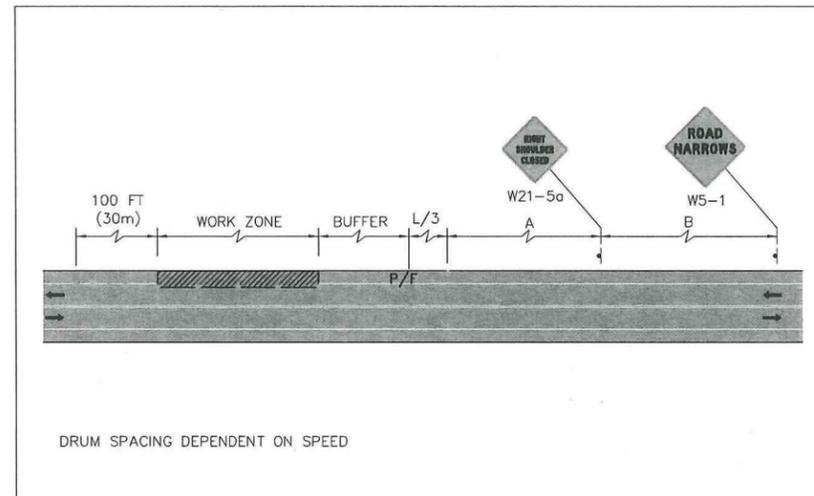
DESIGN: MAL
DRAWN: SJM
CHECK: SJM
REF:

SHEET 17 OF 20

PLAN NO. 136-D-2

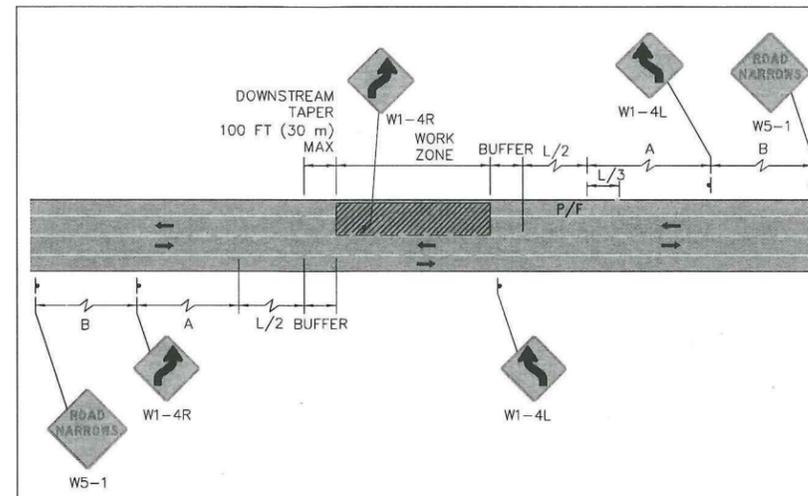
- LEGEND**
EXISTING SIGNS
- STOP (DUNKIN DONUTS EXIT)
 - NO PARKING ANY TIME
 - SPEED LIMIT 40
 - DIVIDED HIGHWAY ENDS (W5-2)
 - JCT INTERSTATE 495
 - NO PARKING ANY TIME
 - STATE HIGHWAY PARKING PROHIBITED
 - TWO WAY TRAFFIC (W6-3)
 - DIVIDED HIGHWAY (W6-1) / MARLBOROUGH HOSPITAL
 - NO TRESPASSING / CITY OF MARLBOROUGH
 - LIONS CLUB MEETING TIME
 - EAST - U.S. ROUTE 20
 - MASON'S LODGE MEETING TIME
 - NO PARKING ANY TIME
 - KEEP RIGHT (R4-7)
 - SPEED LIMIT 35
 - ONE WAY RIGHT (R6-1R) / LEFT TURN PROHIBITION (R3-2)

- THE FIRST THREE PLASTIC DRUMS OF A TAPER MAY BE MOUNTED WITH TYPE A LIGHTS.
- THE ADVISORY SPEED LIMIT, IF REQUIRED, SHALL BE DETERMINED BY THE ENGINEER.
- DISTANCES ARE A GUIDE AND MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUM OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FT. UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH IS TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN.
- ALL SIGNS SHALL BE MOUNTED ON THEIR OWN STANDARD SIGN SUPPORTS.
- EACH SIGN SHALL BE INSTALLED 6 TO 12 FT. OFF EDGE OF PAVEMENT WITH THE BOTTOM OF SIGN AT LEAST 5 FT. ABOVE THE EDGE OF PAVEMENT.
- CONES SHALL BE 28" MINIMUM RETROREFLECTIVE.
- BUFFER AND WORK AREA CONES SHALL BE SPACED 20 FT. APART AND SHALL BE POSITIONED TO ALLOW FOR A MINIMUM 11 FT. TRAVEL LANE.
- PLAN PRESENTS WORK AREAS 1 AND 2 WORK PERFORMED IN EASTBOUND HIGHWAY LANE. PLAN SHALL BE MIRRORED FOR WORK PERFORMED IN WESTBOUND LANE.
- THE EXISTING RAISED MEDIAN LIMITS WORK AREA 1 TAPER AND BUFFER LENGTHS.



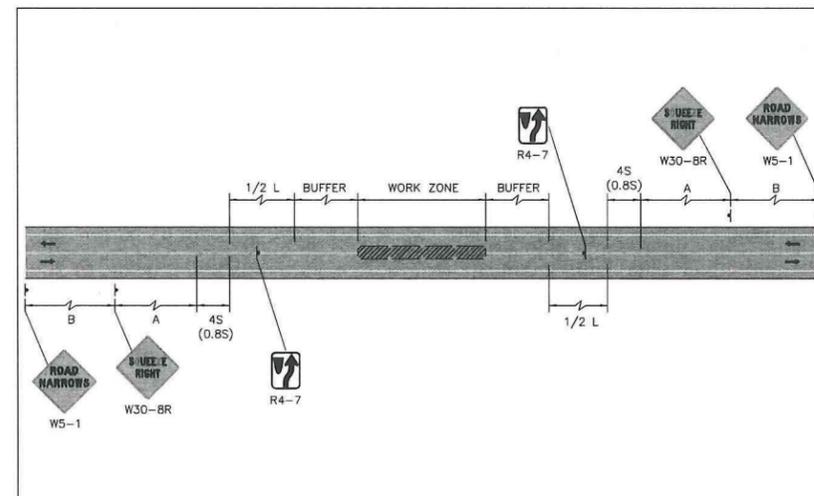
Standard Details and Drawings
for the
Development of Traffic Management Plans

FIGURE TLR-1
TWO LANE ROAD
SHOULDER CLOSED
NOT TO SCALE



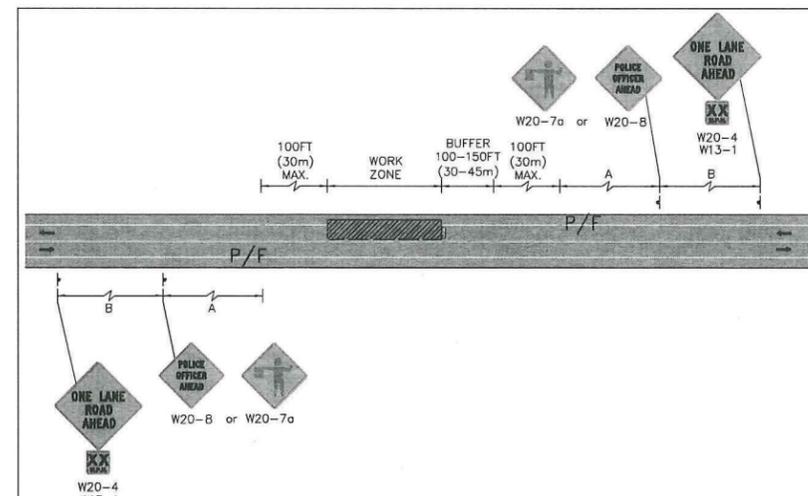
Standard Details and Drawings
for the
Development of Traffic Management Plans

FIGURE TLR-2
TWO LANE ROAD
SHOULDER AND TRAVEL LANE CLOSED
NOT TO SCALE



Standard Details and Drawings
for the
Development of Traffic Management Plans

FIGURE TLR-3
TWO LANE ROAD
CENTER OF ROAD CLOSURE
NOT TO SCALE



Standard Details and Drawings
for the
Development of Traffic Management Plans

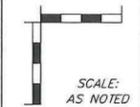
FIGURE TLR-5
TWO LANE ROAD
ONE LANE ALTERNATING TRAFFIC
WITH POLICE DETAIL
NOT TO SCALE

TRAFFIC MANAGEMENT PLAN

NO REVISIONS THIS SHEET	3	SJM	4/14/2014	<i>Stephen J. Mullaney</i>
SHEET ADDED PER COMMENT	2	SJM	1/23/2014	
ORIGINAL ISSUE	1	SJM	12/3/2013	
REVISION	NO.	BY	DATE	ENGINEER



SITE PLAN OF LAND IN
MARLBOROUGH, MASSACHUSETTS
ENTITLED
OVERLOOK AT LAKE WILLIAMS



PREPARED FOR APPLICANT
CRABTREE LAKE WILLIAMS, LLC

DESIGN: MAL
DRAWN: SJM
CHECK: SJM

P.O. BOX 863
AYER, MA 01432-0863
TEL: 978 772-4281 FAX: 978 772-4341

S. J. MULLANEY ENGINEERING, INC.
CIVIL SITE DESIGN & PERMITTING

305 WHITNEY ST. - SUITE G3 - P.O. BOX 752 - LEDMINSTER, MA 01453-0752
TEL: 978 534-3131 - FAX: 978 534-3197 - EMAIL: info@sjmullaney.com

SHEET OF
20 20

PLAN NO.
136-D-2

THE ENGINEER'S STAMP ON THIS DRAWING QUALIFIES THE STRUCTURAL DESIGN ONLY AND ASSURES THAT THE FOUNDATION/FOOTING BEARING SURFACE IS UNDISTURBED, OR PROPERLY COMPACTED, NON-ORGANIC SOIL WITH A MINIMUM BEARING ALLOWABLE OF 4000 PSF AND THAT ALL CONSTRUCTION WILL BE PERFORMED BY QUALIFIED CRAFTSMEN IN ACCORDANCE WITH THE 8TH EDITION OF THE MASSACHUSETTS BUILDING CODE. ALL DIMENSIONS AND ELEVATIONS ARE FOR DESIGN AND REFERENCE PURPOSES ONLY AND SHOULD BE VERIFIED AND APPROVED BY THE OWNER, CONTRACTOR AND FRAMER ON SITE VERIFICATION OF CONSTRUCTION IS LIKELY REQUIRED. IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ENGINEER PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ENGINEER ON SITE VERIFICATION IS NOT PERFORMED.

DESIGN & PLANNING

REVISIONS		
NO.	DATE	DESCRIPTION

PHELAN ENGINEERING

STRUCTURAL & CIVIL CONSULTANTS
 12 SLEIGH ROAD - CHELMSFORD, MA
 TEL. (978) 256-4014 FAX. (978) 250-3764

PROJECT

RETAINING WALLS

OVERLOOK AT LAKE WILLIAMS
 MARLBOROUGH, MA

SCALE: AS NOTED

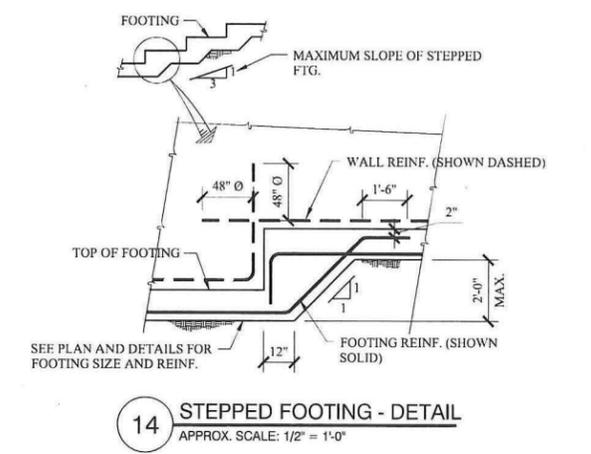
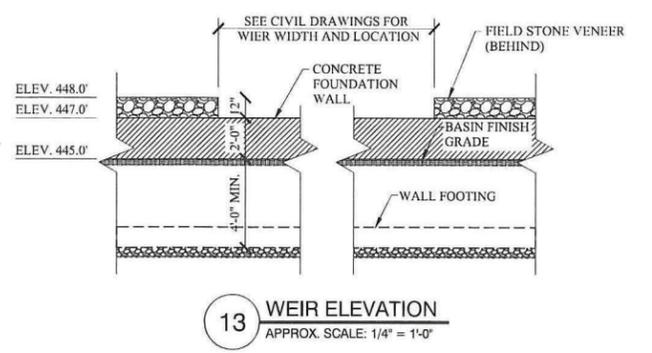
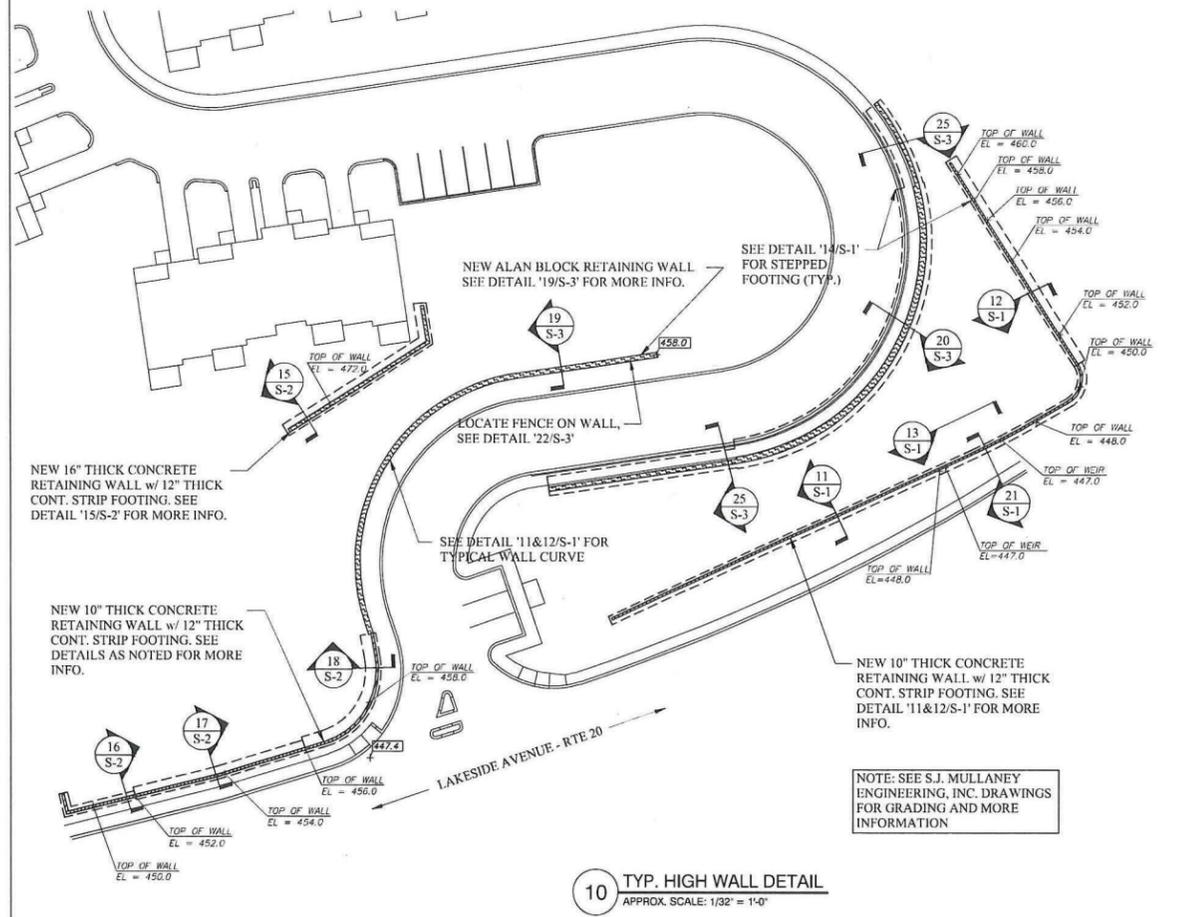
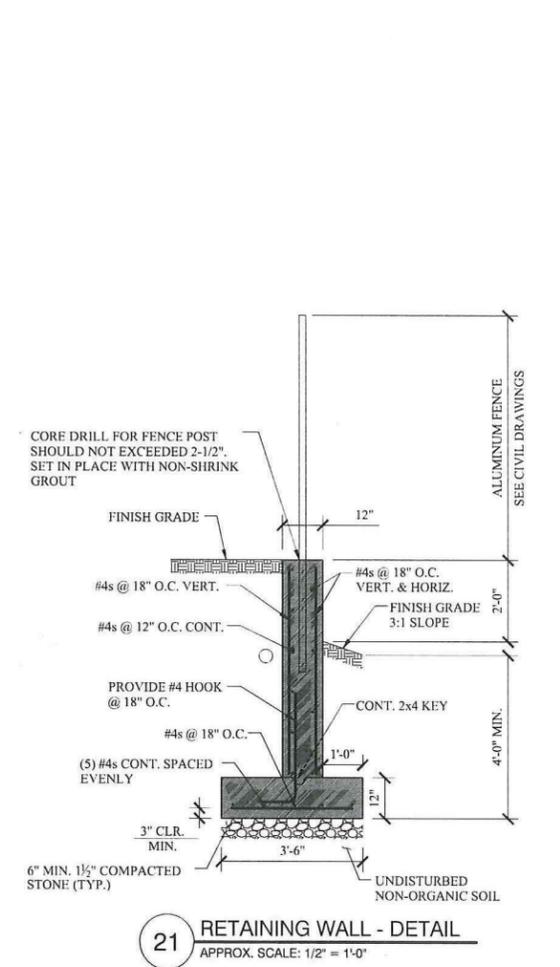
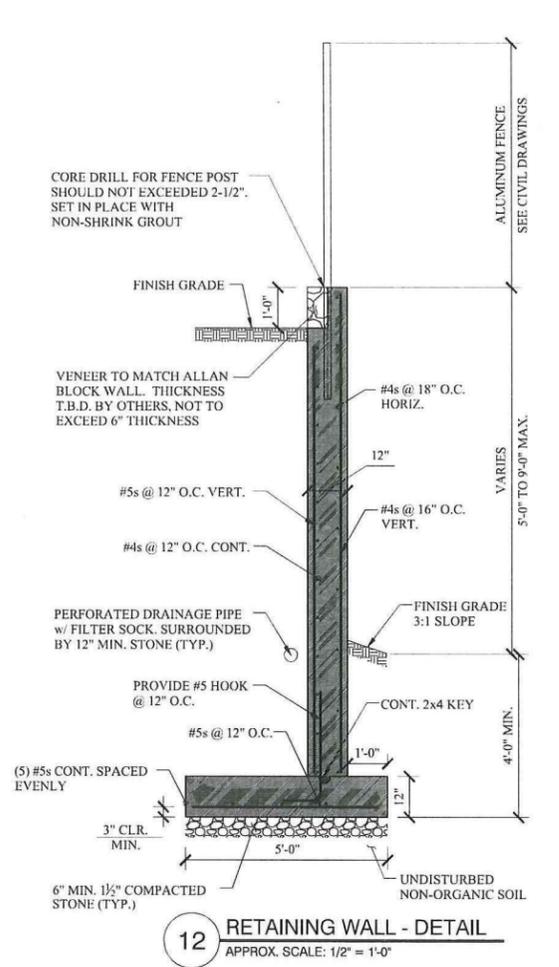
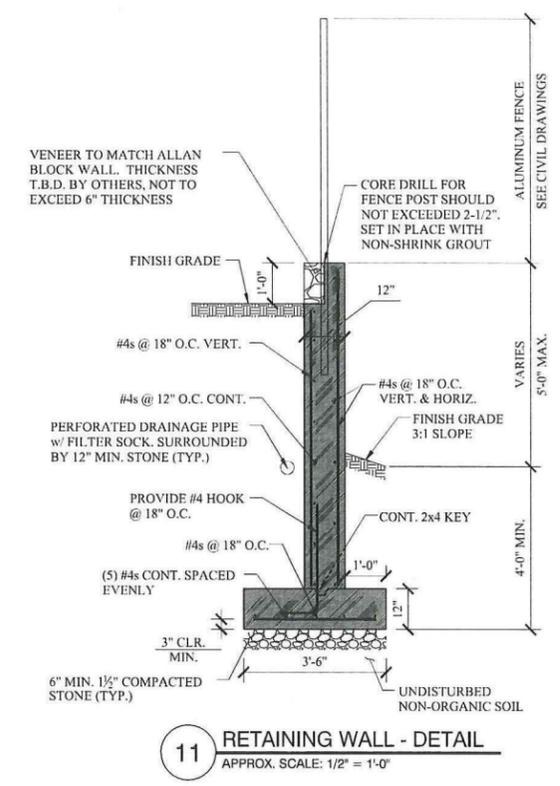
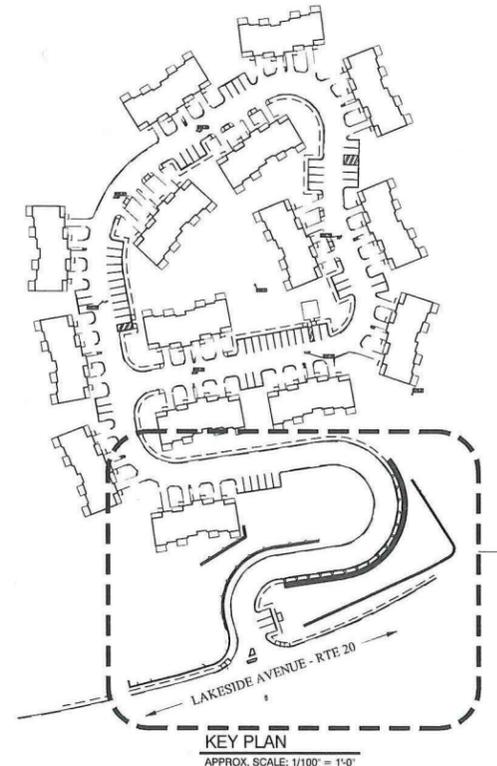
DATE: 12/11/2013
 DRAWING TITLE

RETAINING WALLS

CONSTRUCTION DRAWINGS

DRAWING NUMBER

13188-S-1



NOTE: SEE S.J. MULLANEY ENGINEERING, INC. DRAWINGS FOR GRADING AND MORE INFORMATION

GENERAL NOTES

1. ALL DIMENSIONS AND ELEVATIONS ARE REFERENCE DIMENSIONS. ACTUAL CONSTRUCTION DIMENSIONS AND ELEVATIONS TO BE OBTAINED BY THE CONTRACTOR PER FIELD CONDITIONS.
2. INFORMATION FOR THE DESIGN WAS OBTAINED FROM S.J. MULLANEY ENGINEERING, INC. DRAWINGS DETAILING THE PROPOSED PLOT PLAN AND WALL ELEVATIONS, DATED JULY 15, 2013.
3. A SAFETY FENCE MAY BE INSTALLED WITHIN THE BACK FILL SOIL.
4. SURCHARGE LOADS TO THE UP GRADIENT BACK FILL ARE ASSUMED TO BE THOSE INCURRED BY NORMAL PEDESTRIAN TRAFFIC TO THE INTERIOR FACE OF THE WALL UNLESS NOTED OTHERWISE.
5. UP GRADIENT RETAINED SOIL PITCH SHALL NOT EXCEED 1 IN 3.
6. 2" DIAMETER PVC WEEP HOLES SHALL BE INSTALLED AT 8'-0" ON CENTER MAX.
7. 6" ALUMINUM FENCE INSTALLED ON TOP OF RETAINING WALLS TO BE NON-WIND BEARING. LOCATE ON WALL WITHIN REINFORCING. MINIMUM EDGE OF CORE DRILL 3/2" FROM WALL FACE.

CONCRETE NOTES

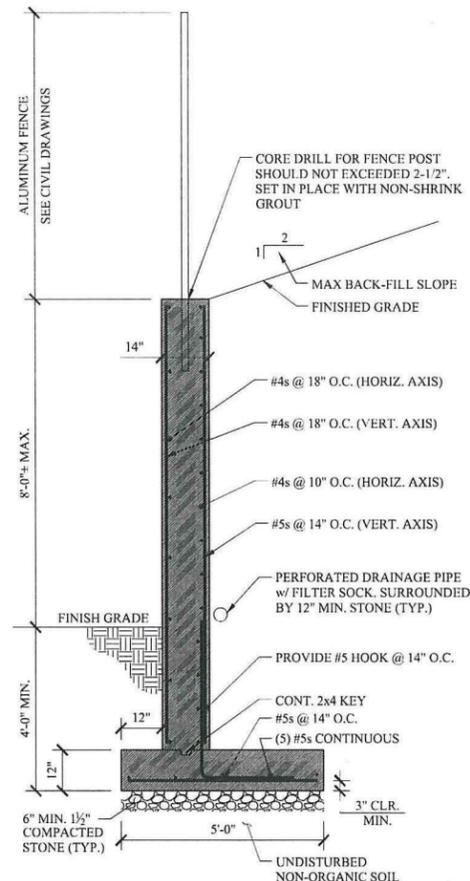
8. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE CODE, ACI-318-05.
9. RETAINING WALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.
10. MINIMUM CONCRETE COVERAGE OF REINFORCING BARS SHALL BE 2" AGAINST FORMS AND 3" AGAINST SOIL.
11. REINFORCEMENT BAR LAP LENGTH MINIMUM IS 30 BAR DIAMETERS.
12. ALL REINFORCEMENT BARS SHALL BE ASTM GRADE 60.
13. VERTICAL CONTROL JOINTS TO BE PLACED AT 20'-0" OR LESS.
14. PER CODE REQUIREMENTS, A MINIMUM OF 3 CONCRETE SAMPLES SHALL BE OBTAINED FROM EACH CONCRETE BATCH (TESTING BY OTHERS IF REQUIRED).
15. THE RETAINING WALL FOOTING MAY BE STEPPED WHILE MAINTAINING A MINIMUM DEPTH OF 4'-0" BELOW FINISHED GRADE. STEPS SHALL OVERLAP A MINIMUM OF ONE FOOT TO ASSURE THAT LONGITUDINAL FOOTING REINFORCEMENT IS CONTINUOUS.
16. ADEQUATE NOTICE FOR INSPECTION OF REINFORCEMENT AND FORMWORK PLACEMENT PRIOR TO CONCRETE PLACEMENT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR. MINIMUM INSPECTION POINTS ARE BASE SOIL COMPACTION, FOOTING FORM AND REINFORCEMENT PLACEMENT PRIOR TO CONCRETE. WALL FORM AND REINFORCEMENT PLACEMENT PRIOR TO CONCRETE.
17. A MINIMUM OF THREE DAYS CURE FOR THE CONCRETE SHALL OCCUR BEFORE BACKFILL.

GEOGRID NOTES

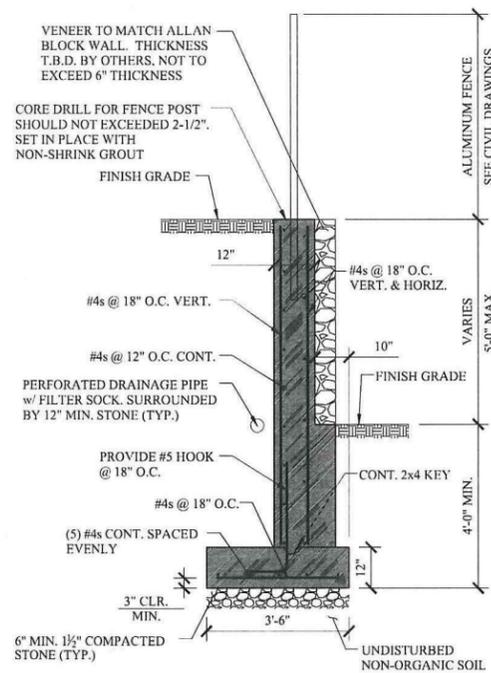
17. CUT GEOGRID TO DESIGNED EMBEDMENT LENGTH AND PLACE ON TOP OF THE ALLAN BLOCK UNITS TO BACK EDGE OF THE RAISED FRONT LIP OF WITHIN 1 IN OF THE CONCRETE RETAINING WALL FACE. EXTEND FROM WALL APPROXIMATELY 3% ABOVE HORIZONTAL ON COMPACTED INFILL LIFTS.
18. INSTALL GEOGRID WITH STRENGTH DIRECTION PERPENDICULAR TO WALL FACE
19. FOLLOW MANUFACTURER'S GUIDELINES FOR OVERLAP REQUIREMENTS.
20. PLACE NEXT COURSE OF ALLAN BLOCK ON TOP OF GRID AND FILL BLOCK CORES WITH WALL ROCK TO LOCK IN PLACE. REMOVE SLACK AN FOLDS IN GRID AND STAKE TO HOLD IN PLACE.
21. ADJACENT SHEETS OF GEOGRID SHALL BE BUTTED AGAINST EACH OTHER AT THE WALL FACE TO ACHIEVE 100% COVERAGE.
22. GEOGRID SHALL BE CONTINUOUS. SPLICING PARALLEL TO THE WALL FACE IS NOT ALLOWED
23. GEOGRID CAN BE INTERRUPTED BY PERIODIC PIPE OR COLUMNS. CONSULT WITH STRUCTURAL ENGINEER FOR LARGE GEOGRID PENETRATIONS.

SOIL NOTES

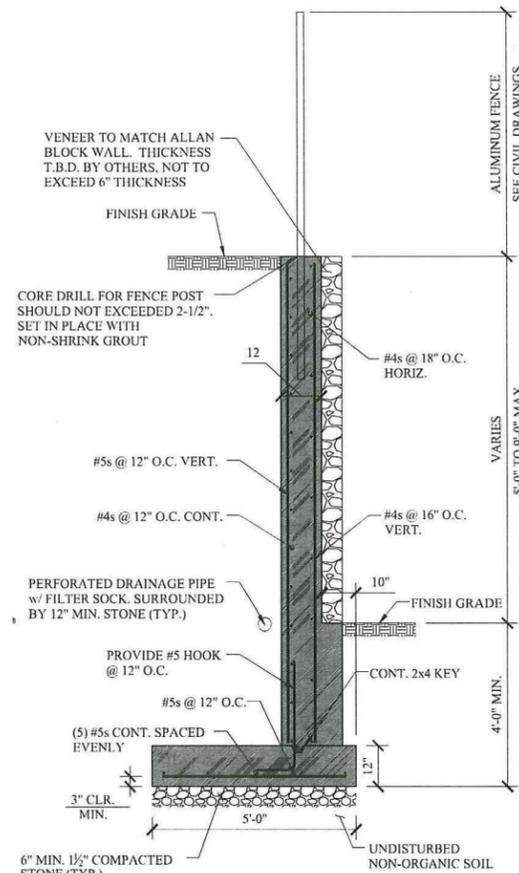
24. THE FOOTINGS SHALL BE PLACED ON COMPACTED STRUCTURAL FILL OR UNDISTURBED SOIL PROOF ROLLED TO 95% COMPACTION PER ASTM D-1558-94.
25. FOOTING BASE SUBSOIL SHALL BE COMPOSED OF MATERIALS CLASSIFIED AS 2 OR BETTER IN TABLE 1806.2 OF THE 2009 IBC.
26. BACK FILL MATERIAL IS TO BE FREE DRAINING GRANULAR COMPACTED IN 12" LIFTS OR LESS FOR REINFORCED CONCRETE WALLS. ALLAN BLOCK BACKFILL LAYERS NOT TO EXCEED 8" LIFTS BEHIND THE WALL. TO DEPTH EQUAL TO DESIGNED GRID LENGTH PRIOR TO GRID INSTALLATION.
27. UNSUITABLE SOILS FOR BACKFILL (HEAVY CLAYS OR ORGANIC SOILS) SHALL NOT BE USED AS BACKFILL MATERIAL.
28. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. CONTRACTOR SHALL USE CAUTION NOT TO OVER-EXCAVATE BEYOND THE BASE ELEVATIONS SHOWN.
29. AT BLOCK WALLS ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET BEHIND THE WALL.



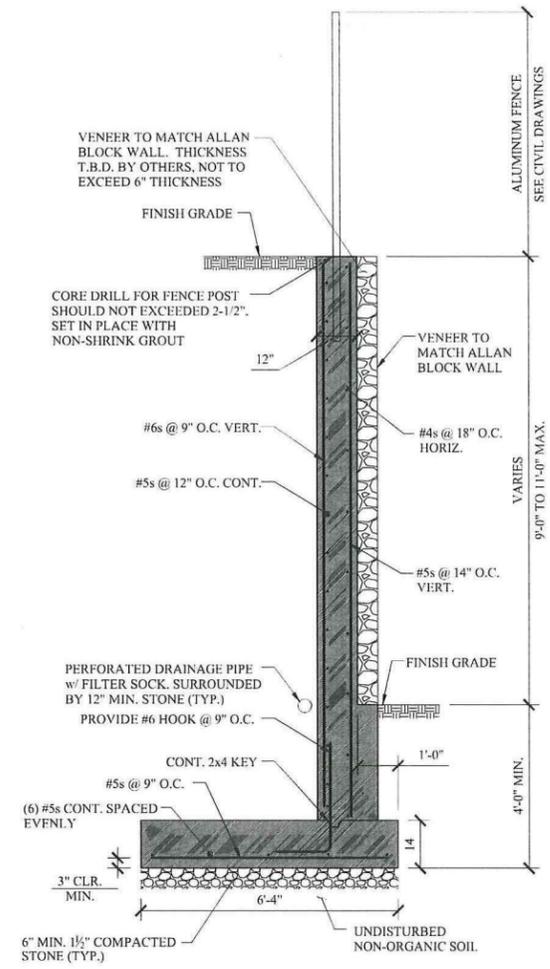
15 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"



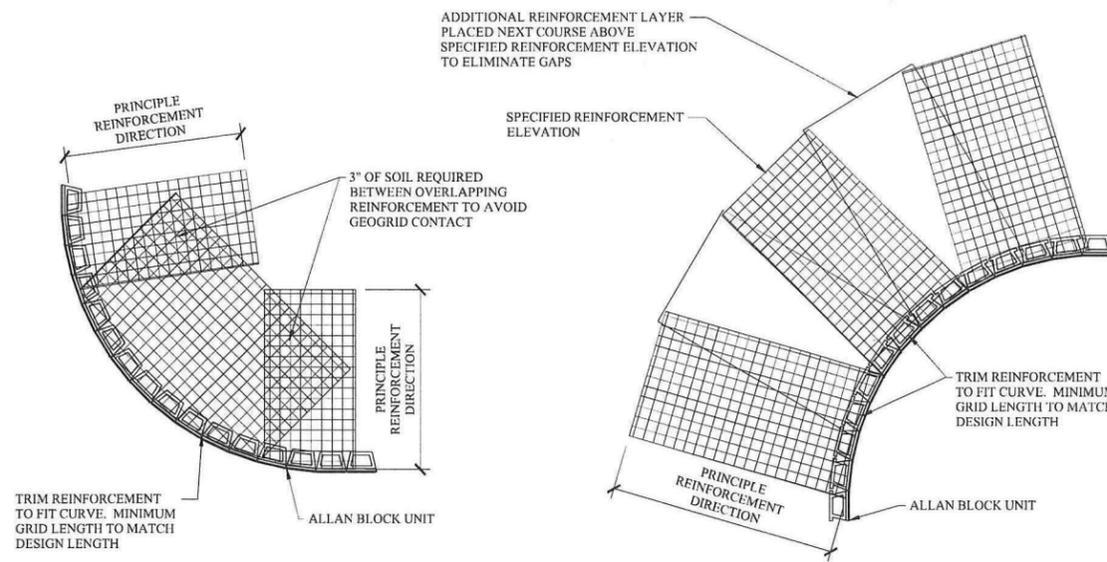
16 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"



17 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"



18 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"



23 TYPICAL GEOGRID CURVE
APPROX. SCALE: 1/4" = 1'-0"

THE ENGINEER'S STAMP ON THIS DRAWING QUALIFIES THE STRUCTURAL DESIGN ONLY AND ASSURES THAT THE FOUNDATION/FOOTING BEARING SURFACE IS UNDISTURBED, OR PROPERLY COMPACTED, NON-ORGANIC SOIL WITH A MINIMUM BEARING CAPABILITY OF 4000 PSF AND THAT ALL CONSTRUCTION WILL BE PERFORMED BY QUALIFIED CRAFTSMEN IN ACCORDANCE WITH THE 8TH EDITION OF THE MASSACHUSETTS BUILDING CODE. ALL DIMENSIONS AND ELEVATIONS ARE FOR DESIGN AND REFERENCE PURPOSES ONLY AND SHOULD BE VERIFIED AND APPROVED BY THE OWNER, CONTRACTOR AND FRAMER ON SITE VERIFICATION OF CONSTRUCTION IS LIKELY REQUIRED. IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ENGINEER PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ENGINEER ON SITE VERIFICATION IS NOT PERFORMED.

DESIGN & PLANNING

REVISIONS		
NO.	DATE	DESCRIPTION



STRUCTURAL & CIVIL CONSULTANTS
12 SLEIGH ROAD - CHELMSFORD, MA
TEL. (978) 256-4014
FAX. (978) 250-3764

PROJECT

RETAINING WALLS
OVERLOOK AT LAKE WILLIAMS
MARLBOROUGH, MA

SCALE: AS NOTED

DATE: 12/11/2013

DRAWING TITLE

RETAINING WALLS

CONSTRUCTION DRAWINGS

DRAWING NUMBER

13188-S-2

GEOGRID COORDINATION NOTES:

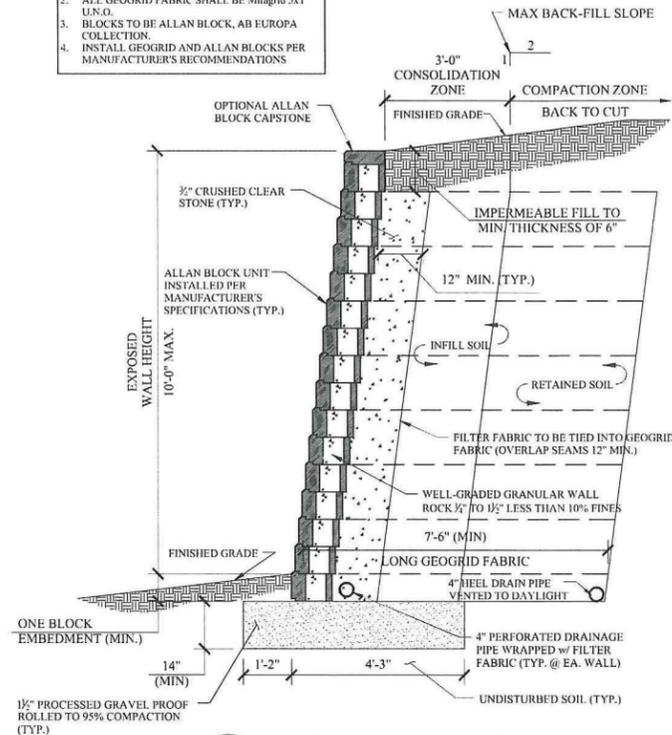
SOME UTILITIES WILL BE PLACED IN THE FILL BEHIND THE ALLAN BLOCK WALL SHOWN IN DETAIL 20/S-3. UTILITY CONTRACTORS SHALL WORK IN CONJUNCTION WITH THE WALL CONSTRUCTION CONTRACTORS. UTILITIES SHALL BE PLACED WITHIN THE GEOGRID REINFORCEMENT LAYERS.

SEQUENCE:

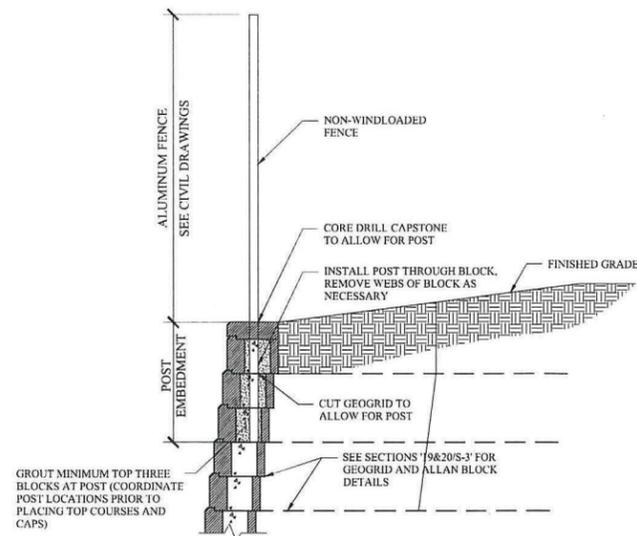
- THE WALL SHALL BE CONSTRUCTED TO THE HEIGHT OF THE LOWEST UTILITY ELEVATION.
- INSTALL THE UTILITIES REQUIRED FROM THIS BASE ELEVATION TO THE NEXT LAYER OF GRID.
- INSTALL ALLAN BLOCK TO NEXT REINFORCEMENT LAYER. BACKFILL AND COMPACT THE WALL INFILL SOIL IN LAYERS NOT TO EXCEED 8" LIFTS BEHIND THE WALL TO THE NEXT GRID ELEVATION.
- INSTALL GRID LAYER AND MAKE CUTS ONLY AS NEEDED TO ACCOMMODATE UTILITY PENETRATIONS. IF ONE LAYER OF GEOGRID SHEET IS CUT MORE THAN 50% OF ITS WIDTH, THE LAYER ABOVE AND BELOW SHOULD BE UNDISTURBED.
- INSTALL UTILITIES REQUIRED BETWEEN THIS NEW ELEVATION TO THE NEXT GRID LAYER. CONTINUE STEPS C THROUGH E UNTIL REACHING FINISHED GRADE.

PENETRATIONS OF THE GEOGRID FOR ELEVATION CHANGES OF THE UTILITIES BETWEEN REINFORCEMENT LAYERS IS PERMITTED BUT SHOULD BE REVIEWED BY THE ENGINEER. THE S.E.R. MAY DETERMINE THAT ADDITIONAL REINFORCEMENT IS REQUIRED AFTER REVIEWING PENETRATIONS. PLEASE NOTE, CUTS INTO THE REINFORCEMENT LAYERS SHOULD NOT BE MADE ONCE THE SOIL LAYER IS PLACED ON TOP OF THE GRID TO AVOID POTENTIAL WALL DAMAGE.

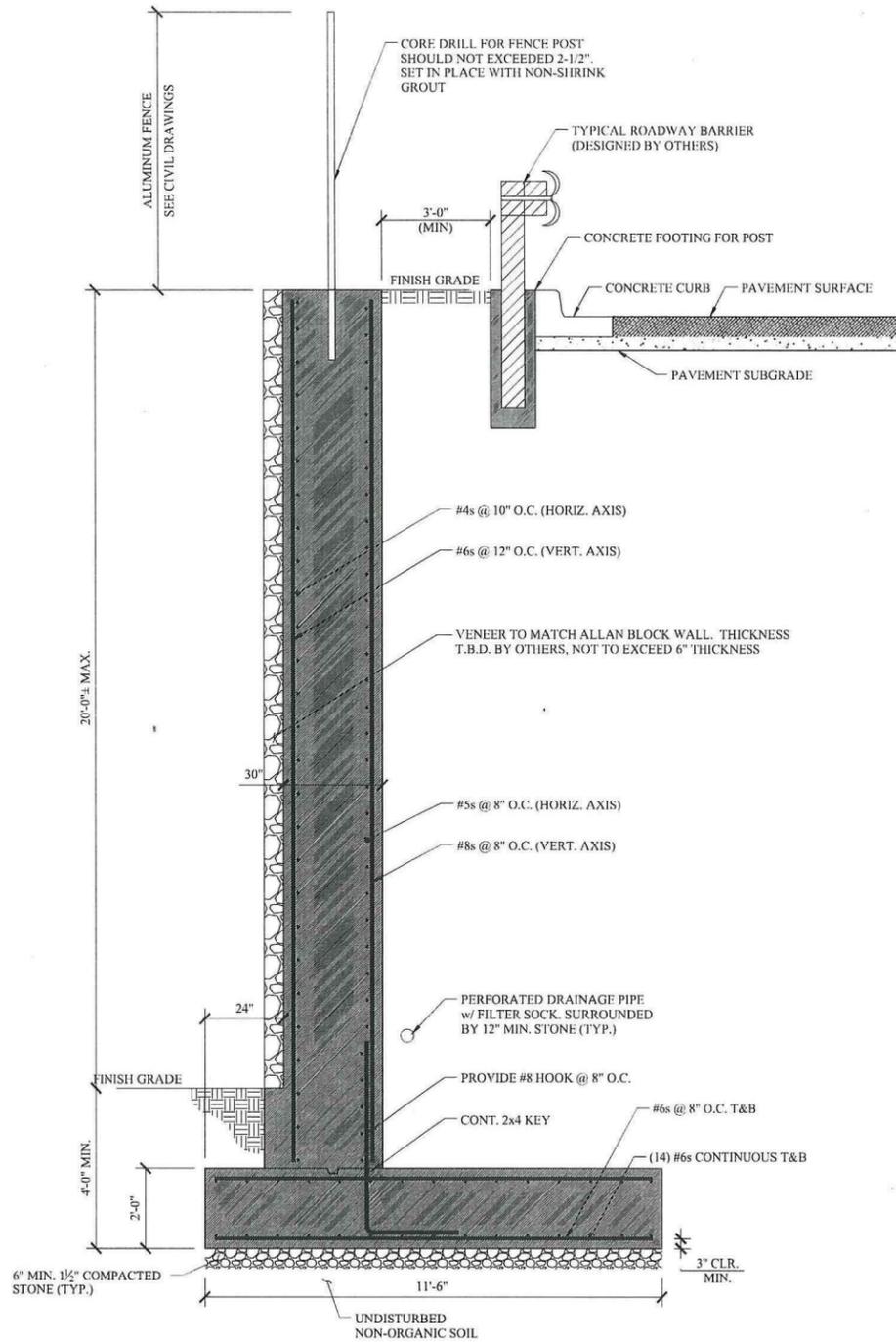
- NOTES:**
- COMPACT SOIL IN 8" LIFTS
 - ALL GEOGRID FABRIC SHALL BE Miragrid 5xT (U.S.)
 - BLOCKS TO BE ALLAN BLOCK, AB EUROPA COLLECTION.
 - INSTALL GEOGRID AND ALLAN BLOCKS PER MANUFACTURER'S RECOMMENDATIONS



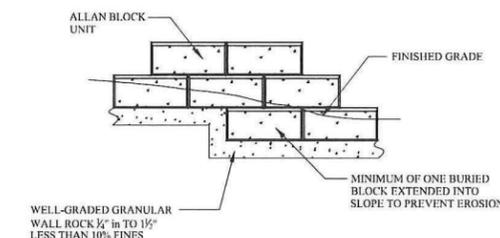
19 RETAINING WALL - SECTION
APPROX. SCALE: 1/2" = 1'-0"



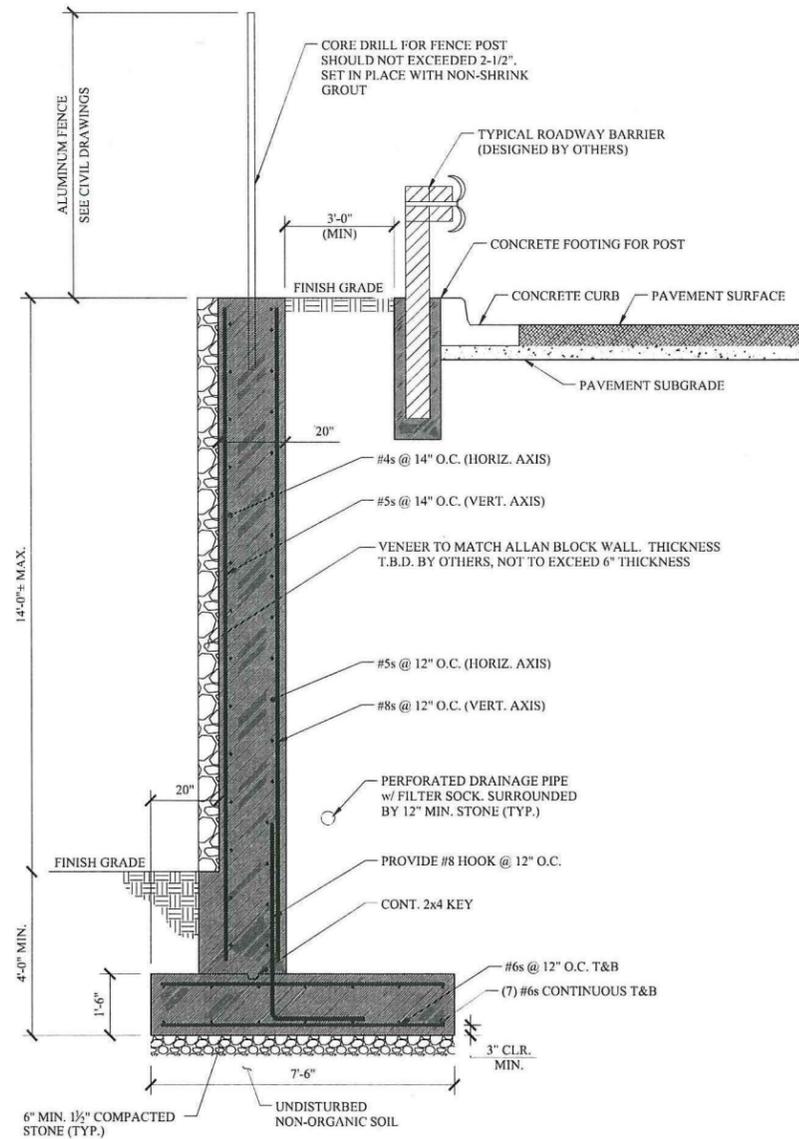
22 BLOCK WALL - FENCE DETAIL
APPROX. SCALE: 5/8" = 1'-0"



20 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"



24 RETAINING WALL - DETAIL
APPROX. SCALE: 5/8" = 1'-0"



25 RETAINING WALL - DETAIL
APPROX. SCALE: 1/2" = 1'-0"

THE ENGINEER'S STAMP ON THIS DRAWING QUALIFIES THE STRUCTURAL DESIGN ONLY AND ASSUMES THAT THE FOUNDATION/FOOTING BEARING SURFACE IS UNDISTURBED, OR PROPERLY COMPACTED, NON-ORGANIC SOIL WITH A MINIMUM BEARING ALLOWABLE OF 4000 PSF AND THAT ALL CONSTRUCTION WILL BE PERFORMED BY QUALIFIED CRAFTSMEN IN ACCORDANCE WITH THE 8TH EDITION OF THE MASSACHUSETTS BUILDING CODE. ALL DIMENSIONS AND ELEVATIONS ARE FOR DESIGN AND REFERENCE PURPOSES ONLY AND SHOULD BE VERIFIED AND APPROVED BY THE OWNER, CONTRACTOR AND FRAMER ON SITE. VERIFICATION OF CONSTRUCTION IS LIKELY REQUIRED. IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ENGINEER PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ENGINEER ON SITE VERIFICATION IS NOT PERFORMED.

DESIGN & PLANNING

REVISIONS		
NO.	DATE	DESCRIPTION



STRUCTURAL & CIVIL CONSULTANTS
12 SLEIGH ROAD - CHELMSFORD, MA
TEL. (978) 256-4014
FAX. (978) 250-3764

PROJECT

RETAINING WALLS
OVERLOOK AT LAKE WILLIAMS
MARLBOROUGH, MA

SCALE: AS NOTED

DATE: 12/11/2013

DRAWING TITLE

RETAINING WALLS

CONSTRUCTION DRAWINGS

DRAWING NUMBER

13188-S-3



IN CITY COUNCIL

Marlborough, Mass., OCTOBER 17, 2016
PAGE 2

ORDERED:

Ken Eilers, 20 Bond Street, asked if any personnel, people, motorcycles, bicycles or anything would be going through the access road other than emergency vehicles. Mr. Bergeron stated whatever the Urban Affairs Committee says is what is allowed which is the reason they reopened the issue in order to deal with the fencing and what access would or would not be allowed to Bond Street. Mr. Eilers suggested if any kind of access were to be considered through the fencing that a traffic study be done on Bond Street as well as Bond Street and its relationship to Lincoln Street including the amount of traffic going down Lincoln Street and the number of school children that use Bond Street which does not have any sidewalks.

Ron Sullivan, 36 Bond Street, lives abutting the new condominium area and is one of the abutters of the emergency access road and he asked how wide the road would be. Mr. Bergeron's recollection was the access road is eighteen feet wide. Mr. Sullivan stated there is only fifteen feet of width. He owned part of the access route from Bond Street which the construction company dug up to install the water main. They did not resurface it as he was told they would with hard pack so he could park his truck there again. They put down sod and his truck cannot park on that and he was told they would hard surface it but they never did. Mr. Bergeron stated the hard surface did not get installed because they wondered if it would end up as a hard surface or something else such as pavers or something other than a standard pavement surface. Mr. Sullivan could not go through another winter of parking his truck in mud as it sinks down six to eight inches and he needed some sort of answer. Otherwise, he would contract someone and send the developer the bill. Mr. Bergeron suggested gravel and Mr. Sullivan indicated it did not matter the surface as long as his truck would not sink.

There are no further questions from the public. That part of the Public Hearing is closed.

PUBLIC SPEAKING IN OPPOSITION

There is no one speaking in opposition. That part of the Public Hearing is closed.

QUESTIONS FROM THE CITY COUNCIL

✓ Councilor Juare explained this was a request from him and Councilor Tunnera to the builder because of the situation on Bond Street. To the best of his knowledge, the fence will still have a closed gate that will be available to emergency vehicles. None of that had changed with their conversations with the builder. It was simply a change in the texture of the ground surface going from hard top which would have ruined the landscape of the area to something else that could handle the heavy trucks yet still have a nice look. They were just looking to make a landscape change at the request of some of the residents of Bond Street.



IN CITY COUNCIL

OCTOBER 17, 2016

Marlborough, Mass., ~~_____~~ PAGE 3

ORDERED:

✓ Councilor Robey hoped the changes were not made until the changes to the Special Permit were approved as it stated it was to be paved to street standards and the developer cannot change that without approval. Mr. Bergeron indicated the reason the developer was not putting down pavement was because they were waiting if the surface was to be changed per City Council approval. Councilor Juairé stated the Building Commissioner and Fire Chief had discussions of their requirements to maintain the weight of the trucks on the road. Mr. Bergeron indicated the developer was willing to appear before the Site Plan Review Committee for their suggestions of the road surface.

✓ Councilor Delano stated this would be taken up in Urban Affairs Committee. There has been some coordination by the affected departments with the whole goal of making the neighbors happy and ensuring it is a safe road surface. He requested the developer appear before the Site Plan Review Committee to receive exact specifics and then appear before Urban Affairs Committee to ensure everyone is satisfied with the change.

There are no further questions from members of City Council. That part of the Public Hearing is closed.

That ends the entire Public Hearing. This is currently in the Urban Affairs Committee.

ADOPTED

ORDER NO. 16-1006683A
X16-1006636B
X08/09-1002051E



IN CITY COUNCIL

JULY 25, 2016

Marlborough, Mass., _____

ORDERED:

That there being no objection thereto set **MONDAY, SEPTEMBER 12, 2016** as **DATE FOR PUBLIC HEARING** on the Application for Special Permit from Ryan Development LLC on behalf of Apex WR 1031 LLC and Walker Realty LLC for Proposed Car Wash, specifically to allow for the use of a car wash at Apex Center in the Hospitality and Recreation Mixed Use Overlay District., 22 Apex Dr., be and is herewith refer to **URBAN AFFAIRS COMMITTEE, ADVERTISE.**

Ninety days after public hearing is 12/11/16 which falls on a Sunday, therefore Monday, 12/12/16 would be considered the 90th day.

ADOPTED

ORDER NO. 16-1006634



IN CITY COUNCIL

Marlborough, Mass., OCTOBER 17, 2016

ORDERED:

Suspension of the Rules requested - granted

That the Communication from Attorney Ericksen on behalf of Walker Realty LLC, re: request to extend time limitations on Proposed Car Wash, specifically to allow for a use of a car wash at Apex Center in the Hospitality and Recreation Mixed Use Overlay District until on or before December 26, 2016, Order No. 16-1006634B, be and is herewith **APPROVED.**

ADOPTED

ORDER NO. 16-1006634C



IN CITY COUNCIL

Marlborough, Mass., OCTOBER 17, 2016

ORDERED:

Suspension of the Rules requested - granted

That Communication from Attorney Ericksen on behalf of Walker Realty LLC, re: request to extend time limitations on Proposed Car Wash, specifically to allow for a car wash in Zone B of Water Supply Protection District, Order No. 16-1006635A, until on or before December 26, 2016 be and is herewith **APPROVED**.

ADOPTED

ORDER NO. 16-1006635B

IN CITY COUNCIL

ORDERED:

DECISION ON A SPECIAL PERMIT

IN CITY COUNCIL

Special Permit
Ryan Development LLC
Order No. 16-_____

**DECISION ON A SPECIAL PERMIT
CITY COUNCIL ORDER NO. 16-_____**

The City Council of the City of Marlborough hereby GRANTS the application for a Special Permit to Ryan Development LLC (the "Applicant") to build and operate a car wash in the Hospitality and Recreation Mixed Use Overlay District (HRMUOD) located at 22 Apex Drive, Marlborough, Massachusetts, as provided in this Decision and subject to the following Procedural Findings and Findings of Facts and Conditions.

FINDINGS OF FACT AND RULING

1. The Applicant, is a duly organized and existing Limited Liability Company having a business address of 4 Lan Drive, Westford, Massachusetts 01886.
2. Apex WR 1031 LLC is the owner of the property located at 22 Apex Drive, Marlborough, Massachusetts, as shown on the Marlborough Assessors Maps as Map 78, Parcels 12, 14, 38 and 39, and Map 89, Parcel 7 (the "Site").
3. The Applicant proposes to build and operate a new car wash facility at the Site (the "Use") as part of the larger Apex Center development (the "Project").
4. The Site is located in the HRMUOD, following the City Council's approval of a Master Concept Plan for the Project (See Order No. 16-1006443G-1), approval of the Development Agreement for the Project (See Order No. 16-1006443G-2), and the Owner's acquisition of the Site (See deed recorded in the Middlesex South District Registry of Deeds in Book 67444, Page 575).
5. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an application for a special permit for the Use in Zone B of the WSPD, as provided in this Decision and subject to the following.
6. In connection with the Application, the Applicant has submitted a certified list of abutters, filing fees, and a detailed site plan entitled "22 Apex Drive Building Pad and Site Plan"

prepared by Hancock Associates and dated May 16, 2014, last revised August 10, 2016 (the "Plans").

7. The Plans were certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

8. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

9. The Marlborough City Council, pursuant to Massachusetts General Laws, Chapter 40A, held a public hearing on the application on Monday, September 12, 2016. The hearing was opened and closed on that date.

10. The Applicant, through its representatives, presented testimony at the public hearing detailing the Project, describing its impact upon municipal services, the neighborhood, and traffic.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant a Special Permit to build and operate a car wash in Hospitality and Recreation Mixed Use Overlay District District as shown on the Plans filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws: Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.

2. Compliance with Applicable Laws: The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Project.

3. Site Plan Review: The issuance of the Special Permit is further subject to that certain Site Plan Review Decision issued on _____ for the overall Project, which Site Plan Review Decision was issued in accordance with the HRMUOD Ordinance and the City of Marlborough Site Plan Review Ordinance.

4. Modification of Plans. Notwithstanding conditions #1 and #3 above, the City Council or the Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the use of the Project as approved herein, or materially increase the impervious area of the Project, reduce the green area, alter traffic flow, increase the size, shape or position of the building, or alter the fencing bordering the property, all as shown on the Plans.

5. Incorporation of Submissions: All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

6. Car Wash Safety Factor. The Chief of Police or his designee shall have authority to order the carwash temporarily closed when an "icing" or unsafe condition on the public way exists due to the carwash or weather conditions, as determined solely by the Chief of Police or his designee.

7. Carwash Equipment Monitoring. All carwash equipment shall be monitored on an annual basis with reports given to the Director of the Water and Sewer division of the Department of Public Works.

8. Concrete Aprons. The concrete aprons located at the exit of the carwash bays shall be heated during the winter months to prevent icing. This shall be included in the design submitted for building permit.

9. Disposal of Chemical Container's. All containers that have been used for the storage of chemicals shall adhere to any and all disposal requirements consistent with safety precautions and the RCRA.

10. Hours of Operation. The hours of operation for the carwash shall be twenty-four (24) hours per day, seven (7) days per week. Notwithstanding these hours of operation, if after the first six (6) months of operation the Chief of Police determines, in his good faith and reasonable discretion, that there is a legitimate public safety or nuisance concern associated with the 24 hour per day operation, then upon a recommendation from the Chief of Police, the City Council may, after notice to the Applicant (its successors and/or assigns) and a meeting, amend this Special Permit to limit the hours of operation at the carwash to 6 a.m. to 1 a.m., seven (7) days per week. Said determination shall be made, if at all, within a reasonable period of time after the first six (6) months of operation but in no event later than within the first nine (9) months after operation.

11. Compliance with Related Special Permit. The Applicant has also applied for a permit for the Use in the Zone B. Any conditions attached to the approval of that special permit are also incorporated herein and made a part hereof.

12. Recording of Decision. In accordance with the provisions of M.G.L. c. 40A, § 11, Applicant, its successors and/or assigns at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed.

Yea: _____ - Nay: _____ - Absent: _____

ADOPTED

In City Council

Order No. 16- _____

Adopted: _____ 2016

Approved by Mayor

Arthur Vigeant

Date: _____ 2016

A TRUE COPY

ATTEST: _____ City Clerk